

GENERAL INFORMATION

LAND/BUILDING OWNER REGIONAL HOUSING AUTHORITY
 MAILING ADDRESS 384 MILES AVE
 YUBA CITY, CA 95991
 SCOPE OF WORK NEW MAINTENANCE BUILDING OF MANUFACTURED STEEL CONSTRUCTION WITH INTERIOR WOOD FRAMED PARTITIONS TO REPLACE EXISTING OF ROUGHLY SAME FOOTPRINT
 GOVERNING CODES 2016 CA BUILDING CODE
 2016 CA RESIDENTIAL CODE
 2016 CA GREEN BUILDING CODE
 2016 CA ENERGY CODE
 2016 CA ELECTRICAL CODE
 2016 CA FIRE CODE
 2016 CA PLUMBING CODE
 2016 CA MECHANICAL CODE
 YUBA CITY MUNICIPAL CODE

SITE INFORMATION

ASSESSOR'S PARCEL NO. 053-470-053
 ZONING R-3
 PARCEL ACREAGE 62.94
 WATER PUBLIC
 SEWAGE DISPOSAL PUBLIC SEWER
 WILDLAND URBAN INTER. PER CRC R537 NO
 NATURAL GAS AVAIL YES
 SITE ELEVATION 50' ASL
 GROUND SNOW LOAD 0 PSF
 FLOOD ZONE/ COMMUNITY NO. X PER 0603940605E
 PERMITTING AGENCY YUBA CITY

SPECIAL FEATURES

HERS DUCT TESTING NO DUCTS
 ENERGY CERT OF COMPL PER CF-1R YES

ABBREVIATIONS

AB ANCHOR BOLT	LS LAG SCREW
ABV ABOVE	LT LIGHT
ALT ALTERNATE	MB MACHINE BOLT
ARCH ARCHITECTURAL	MFR MANUFACTURE/DR
ASL ABOVE SEA LEVEL	MAX MAXIMUM
BLK BLOCK	MCH MECHANICAL
BLKG BLOCKING	MET METAL
BOF BOTTOM OF FOOTING	MEZZ MEZZANINE
BLDG BUILDING	MIN MINIMUM
BTM BOTTOM	MISC MISCELLANEOUS
BTWN BETWEEN	(N) NEW
CBC CALIFORNIA BUILDING CODE	NTS NOT TO SCALE
CIP CAST IN PLACE	# NUMBER/POUNDS
CLG CEILING	NO NUMBER
CL CENTER LINE	OPNG OPENING
CC CENTER TO CENTER	OH OPPOSITE HAND
CHL CHANNEL	OD OUTSIDE DIAMETER
CJ CEILING JOIST	OV OVER
CLR CLEAR	d PENNY
CMU CONCRETE MASONRY UNIT	PERP PERPENDICULAR
COL COLUMN	PC PIECE
CONC CONCRETE	P: PX: FXX PIPE: PIPE X-STRONG: PIPE XX-STRONG
CONN CONNECTION	PL PLATE
CONT CONTINUOUS	PLYWD PLYWOOD
CONTR CONTRACTOR	P91 PER SQUARE INCH
CRG CALIFORNIA RESIDENTIAL CODE	P9F PER SQUARE FOOT
CSM CASEMENT	PLBG PLUMBING
CTRD CENTERED	LBS POUNDS
DIAG DIAGONAL	PC PRECAST CONCRETE
DIA DIAMETER	PT PRESSURE TREATED
DIM DIMENSION	PROJ PROJECTION
DBL DOUBLE	R RADIUS
DWGS DRAWINGS	RDWD REDWOOD
EA EACH	REF REFERENCE
EW EACH WAY	REINF REINFORCE/ING/MENT/D
ELEC ELECTRICAL	REQD REQUIRED
ELEV ELEVATION	REV REVISION
EMBED EMBEDMENT	RO ROUGH OPENING
EN EDGE NAILING	RHWS ROUND HEAD WOOD SCREW
EQ EQUAL	RWL RAIN WATER LEADER
EXISTG EXISTING	SECT SECTION
(E) EXISTING	SFR SINGLE FAMILY RESIDENCE
EJ EXPANSION JOINT	SHT SHEATHING
EXT EXTERIOR	SIM SHEET
FC FACE OF CONCRETE/CURB	SIM SIMILAR
FIN FINISH	SN STITCH NAILED
FN FIELD NAILING	SMS SHEET METAL SCREWS
FF FINISHED FLOOR	SQ SQUARE
FLR FLOOR	STAGR STAGGERED
FT FOOT/FEET	STD STANDARD
FIG FOOTING	STL STEEL
FN FOUNDATION	STIFF STIFFENER
FRMG FRAMING	STRUCT STRUCTURAL
FX FIXED	T & B TOP AND BOTTOM
GA GAGE	TOF TOP OF FRAMING
GALV GALVANIZED	TOS TOP OF STEEL
GL GLU-LAM	T & G TONGUE AND GROOVE
GR GRADE	THK THICK
HDR HOT DIPPED GALVANIZED	THRU THROUGH
HDR HEADER	TN TOE NAIL
HGR HANGER	TS TUBE STEEL
HSB HIGH STRENGTH BOLT	TTY TYPICAL
HD HOLD DOWN	UBC UNIFORM BUILDING CODE
HORIZ HORIZONTAL	UNO UNLESS NOTED OTHERWISE
HSB HOLLOW STEEL SECTION	VERT VERTICAL
INFO INFORMATION	WNF WELDED WIRE FABRIC
ID INSIDE DIAMETER	WT WEIGHT
INT INTERIOR	W/ WITH
JT JOINT	WD WOOD
JST JOIST	
JH JOIST HANGER	

BUILDING INFORMATION

CONSTRUCTION V-B
 SPRINKLERED NO
 OCCUPANCY MIXED SEE TABLE ON A3
 1ST FLOOR CONDITIONED 1,290 SQFT
 1ST FLOOR SHOP UNCOND. 710 SQFT
 MEZZANINE UNCONDITIONED 1,290 SQFT

PROVIDED	ALLOWED
NO. OF STORIES 1	2
BUILDING AREA 1,290 SQFT	13,500 SQFT
FIRE AREA 3,314 SQFT	13,500 SQFT

BUILDING LOADS

ROOF SNOW LOAD 0 PSF
 ROOF LIVE LOAD 20 PSF
 COLLATERAL LOADS 5 PSF
 MEZZ FLOOR LIVE LOAD 125 PSF
 MEZZ FLOOR DEAD LOAD 20 PSF

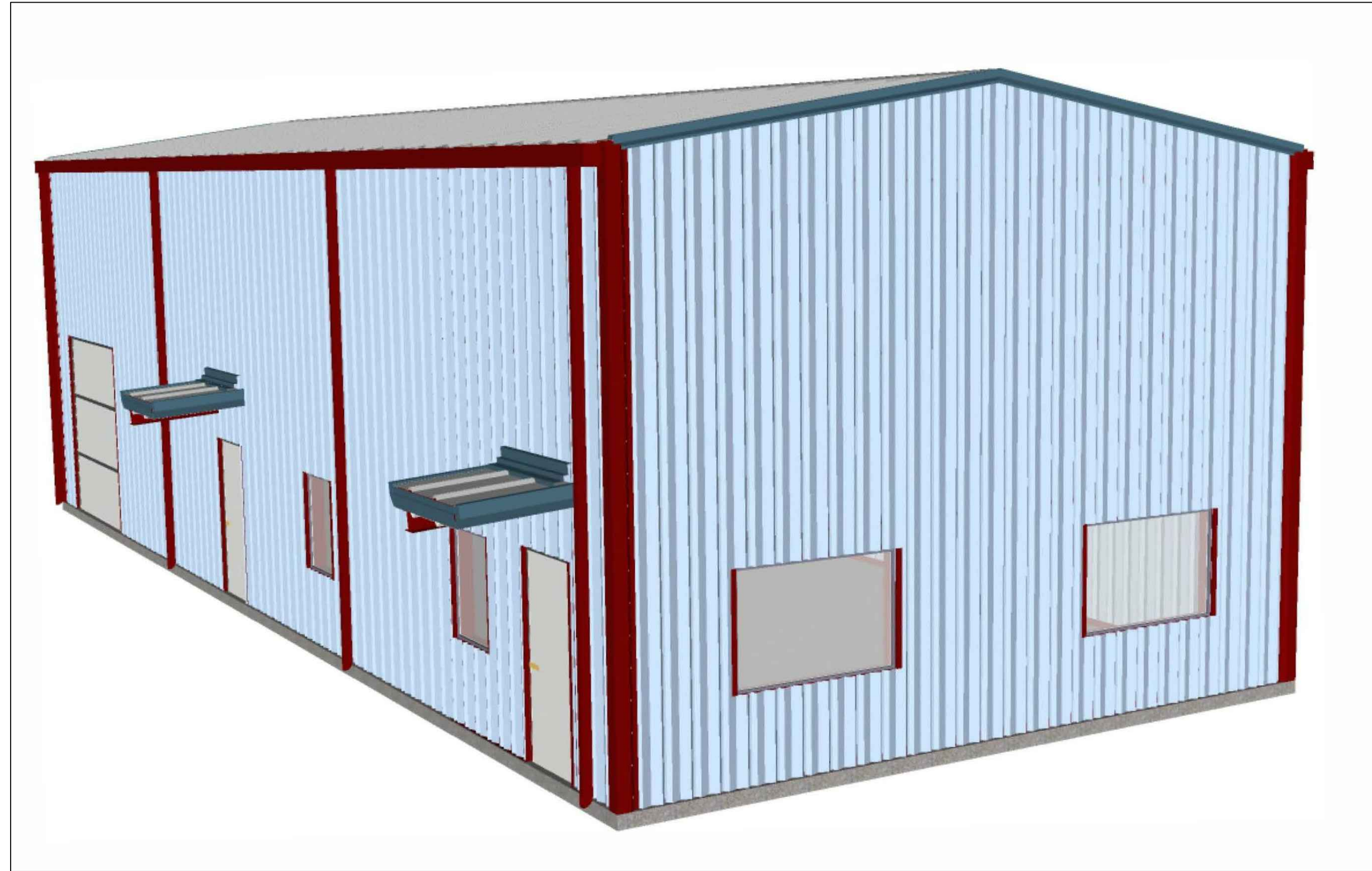
DESIGN CRITERIA

SOIL
 GEOTECHNICAL REPORT NONE PROVIDED
 ALLOW. SOIL BEARING PRESSURE 1,500 PSF
 ALLOW. LAT. BEARING PRESSURE 100 PSF/FT
 ALLOW. COHESION 130 PSF
MANUF HOMES AND COMMERCIAL MODULAR BUILDINGS SHALL BE DESIGNED FOR A 1000 PSF MAX SOIL BEARING CAPACITY UNLESS A GEOTECH TO SUBSTANTIATE HIGHER DESIGN VALUES PER CCR TITLE 26, DIV 1, CH 2, SECTION 20400
WIND
 WIND (3 SEC GUST) 110 MPH
 EXPOSURE C
SEISMIC
 DESIGN CATEGORY D

WILDLAND URBAN INTERFACE (WUI)

- STATE RESPONSIBILITY AREAS. NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE WITHIN STATE RESPONSIBILITY AREAS
- NEW BUILDINGS LOCATED IN ANY LOCAL AGENCY VERY HIGH FIRE HAZARD SEVERITY ZONE
- NEW BUILDINGS LOCATED IN ANY WILDLAND-URBAN INTERFACE FIRE AREA DESIGNATED BY THE ENFORCING AGENCY
- NONE OF THE ABOVE. WUI REQUIREMENTS NOT APPLICABLE

**MAINTENANCE BUILDING FOR:
 REGIONAL HOUSING AUTHORITY
 384 MILES AVE
 YUBA CITY, CA 95993**



1 ISOMETRIC RENDERING
 A0 ELEVATION 1/4"=1'

DEFERRED SUBMITTALS

UPON AWARD OF THIS PUBLICLY BID CONTRACT, CONTRACTOR SHALL HAVE 45 CALENDAR DAYS TO PROCURE METAL BUILDING PLANS AND PROVIDE REACTIONS TO THE STRUCTURAL DESIGNER OF RECORD.

THE STRUCTURAL DESIGN CONSULTANT SHALL HAVE 30 CALENDAR DAYS TO REVIEW THE REACTIONS AND PROVIDE A FINAL STAMPED & SIGNED FOUNDATION PLAN AS A DEFERRED APPROVAL WITH THE CITY.

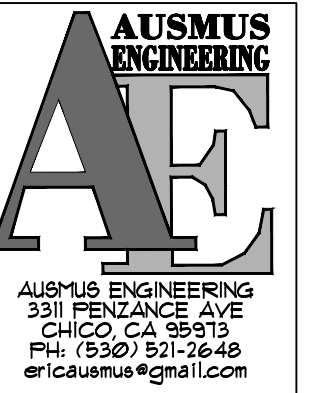
CONTRACTOR SHALL SUBMIT THE FOUNDATION PLAN TO THE CITY FOR PLAN REVIEW AND CITY APPROVAL.

- METAL BUILDING PLANS & COLUMN REACTIONS
- FINAL FOUNDATION PLAN
- DESIGN-BUILD ELECTRICAL SINGLE LINE & PANEL SCHEDULE

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MAINTENANCE BUILDING
 COVER SHEET

REGIONAL HOUSING AUTHORITY
 384 MILES AVE
 YUBA CITY 95993

REVISION	DATE	DESCRIPTION
	12/19/19	PLAN CHECK NO. 1



DATE: OCT 22, 2019
 DESIGNED BY: EDA
 DRAWN BY: EDA
 CHECKED BY: EDA
 SCALE: AS NOTED
 PROJECT:
 PAGE 1 OF 1
 SHEET NO. A0

SITE

GEOTECH REPORT PROVIDED: NONE DATE: N/A

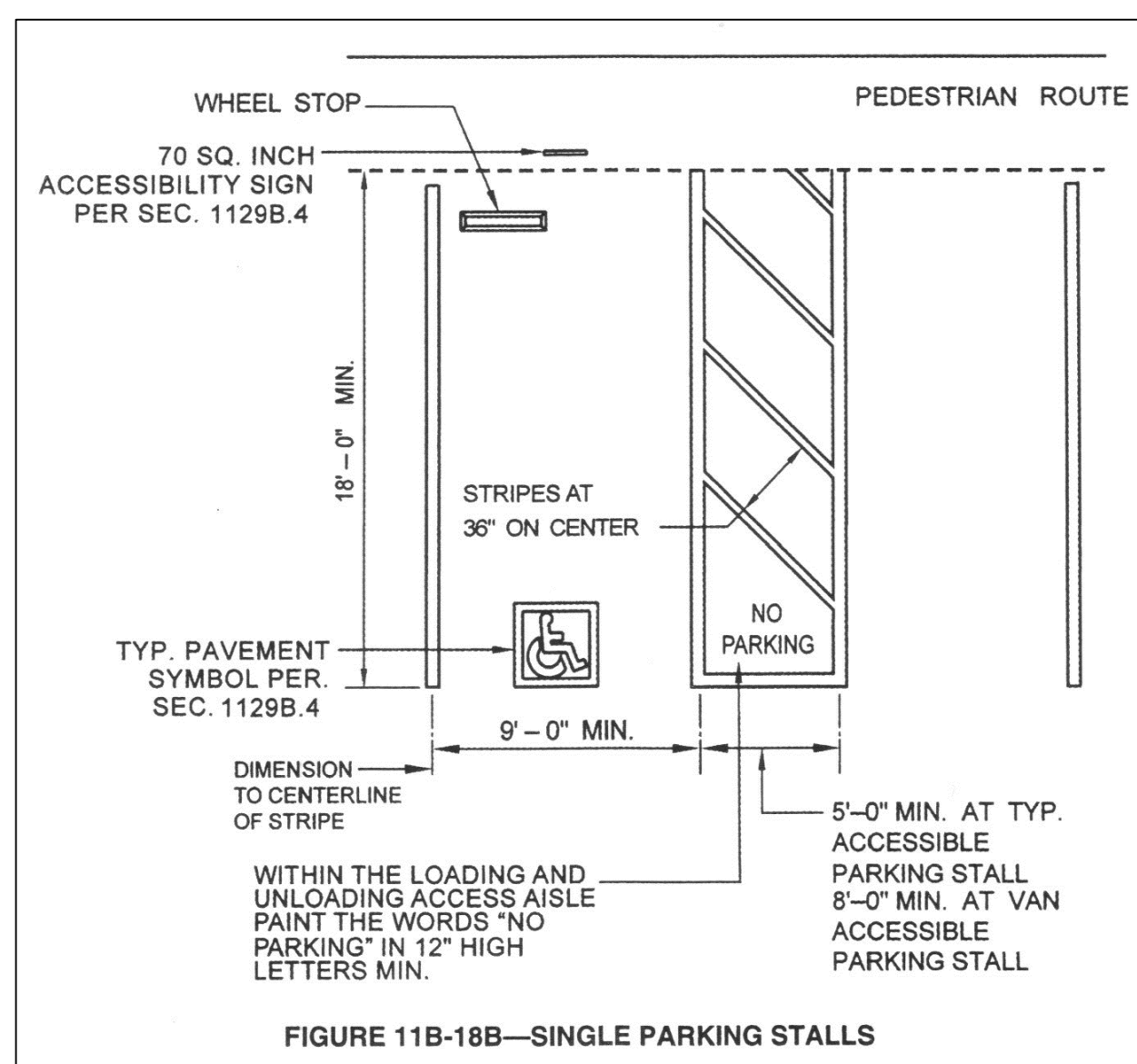
- 1) CONTRACTOR SHALL RECOGNIZE AND NOTIFY ENGINEER IF CLAYS OR SOILS, NOT SUITABLE FOR CONSTRUCTION, ARE PRESENT. CONSTRUCTION SHALL NOT CONTINUE WITHOUT APPROVAL OF THE DESIGNER OR ENGINEER OF RECORD.
- 2) THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL PROPERTY LINES AND CORNERS AND SHALL ENSURE THAT CONSTRUCTION IS WITHIN ALL APPLICABLE SETBACKS AND EASEMENTS.
- 3) THE ENTIRE AREA TO BE COVERED BY STRUCTURES SHALL BE CLEARED AND GRUBBED TO REMOVE SURFACE VEGETATION AS REQUIRED.
- 4) ALL GRADING SHALL CONFORM TO LOCAL GRADING ORDINANCES. GRADE SURROUNDING ANY BUILDING STRUCTURES SHALL BE SLOPED A MINIMUM OF 5% AWAY FROM THE BUILDING PAD FOR A MINIMUM 10' IN ALL DIRECTIONS TO MAINTAIN SUFFICIENT DRAINAGE. WHERE PHYSICAL OBSTRUCTIONS OR LOT LINES PREVENT THIS, AN ALTERNATE METHOD SHALL BE USED TO DIVERT WATER USING A SWALE OR OTHER APPROVED METHOD.
- 5) THERE SHALL BE NO UTILITY TRENCHES WITHIN THE INFLUENCE ZONE OF THE FOUNDATION (A 45 DEGREE ANGLE PROJECTING FROM THE BOTTOM OF THE OUTER EDGE OF ANY FOOTING.)
- 6) CONTRACTOR SHALL PROVIDE A MECHANISM FOR RETAINING SITE DRAINAGE ON THE PROPERTY BY USE OF PERFORATED UNDERGROUND DRAINS TIED TO THE PROPOSED ROOF GUTTERS. PROVIDE 10' CLEARANCE TO EXISTING STRUCTURE.
- 7) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR BRACING AND SHORING ALL EXCAVATIONS, DEWATERING OF EXCAVATION FROM EITHER SURFACE WATER, GROUND WATER OR SEEPAGE, TEMPORARY AND EXISTING STRUCTURES, AND PARTIALLY COMPLETED PORTIONS OF THE WORK TO ASSURE THE SAFETY OF ANY PERSON COMING IN CONTACT WITH THE WORK.
- 8) THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SHALL VERIFY ALL DIMENSIONS. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
- 9) NO STRUCTURAL MEMBERS SHALL BE CUT, NOTCHED OR OTHERWISE PENETRATED UNLESS SPECIFICALLY APPROVED BY THE MANUFACTURER OF THE PRODUCT.
- 10) WHERE THE GENERAL NOTES AND TYPICAL DETAILS ARE IN CONFLICT WITH ANY SPECIFICATIONS, THE DESIGNER SHALL BE NOTIFIED FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
- 11) THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ENGINEER DO NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OF THE PROCEDURES FOR SUCH METHODS OF CONSTRUCTION. ANY SUPPORT SERVICES PERFORMED BY THE ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES WHICH ARE PERFORMED AFTER COMPLETION OF CONSTRUCTION, ARE SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECS; THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISIONS OF CONSTRUCTION.
- 12) OBSERVATION VISITS TO THE SITE BY THE ENGINEER SHALL NEITHER BE CONSTRUED AS INSPECTION NOR APPROVAL OF CONSTRUCTION.
- 13) CONTRACTOR SHALL READ AND BE FAMILIAR WITH ALL FACETS OF THE PLANS AND SPECIFICATIONS AND SHALL REQUEST CLARIFICATION AS REQUIRED BEFORE COMMENCING CONSTRUCTION.
- 14) CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONSTRUCTION WHICH IS IN DEVIATION FROM THESE PLANS.
- 15) CONTRACTOR IS RESPONSIBLE FOR THE CORRECT INSTALLATION OF ALL MANUFACTURED PRODUCTS, INCLUDING BUT NOT LIMITED TO OSB, T-11, PARALLAMS AND MICROLLAMS. ALL INSTALLATIONS SHALL BE DONE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- 16) ALL CONDITIONS SHOWN OR NOTED AS EXISTING ARE BASED ON THE BEST INFORMATION CURRENTLY AVAILABLE AT THE TIME OF PREPARATION OF THESE DRAWINGS. NO WARRANTY IS IMPLIED AS TO THEIR ACCURACY. CONTRACTOR IS TO FIELD VERIFY ALL CONDITIONS. SHOULD CONDITIONS BECOME APPARENT WHICH DIFFER FROM THE CONDITIONS SHOWN HEREIN THEY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR ENGINEER. THE ARCHITECT OR ENGINEER MAY THEN PREPARE ADDITIONAL DRAWINGS AS MAY BE NEEDED TO ACCOMMODATE THE NEW CONDITIONS.

SITE BMP & EROSION CONTROL BEST MANAGEMENT PRACTICES

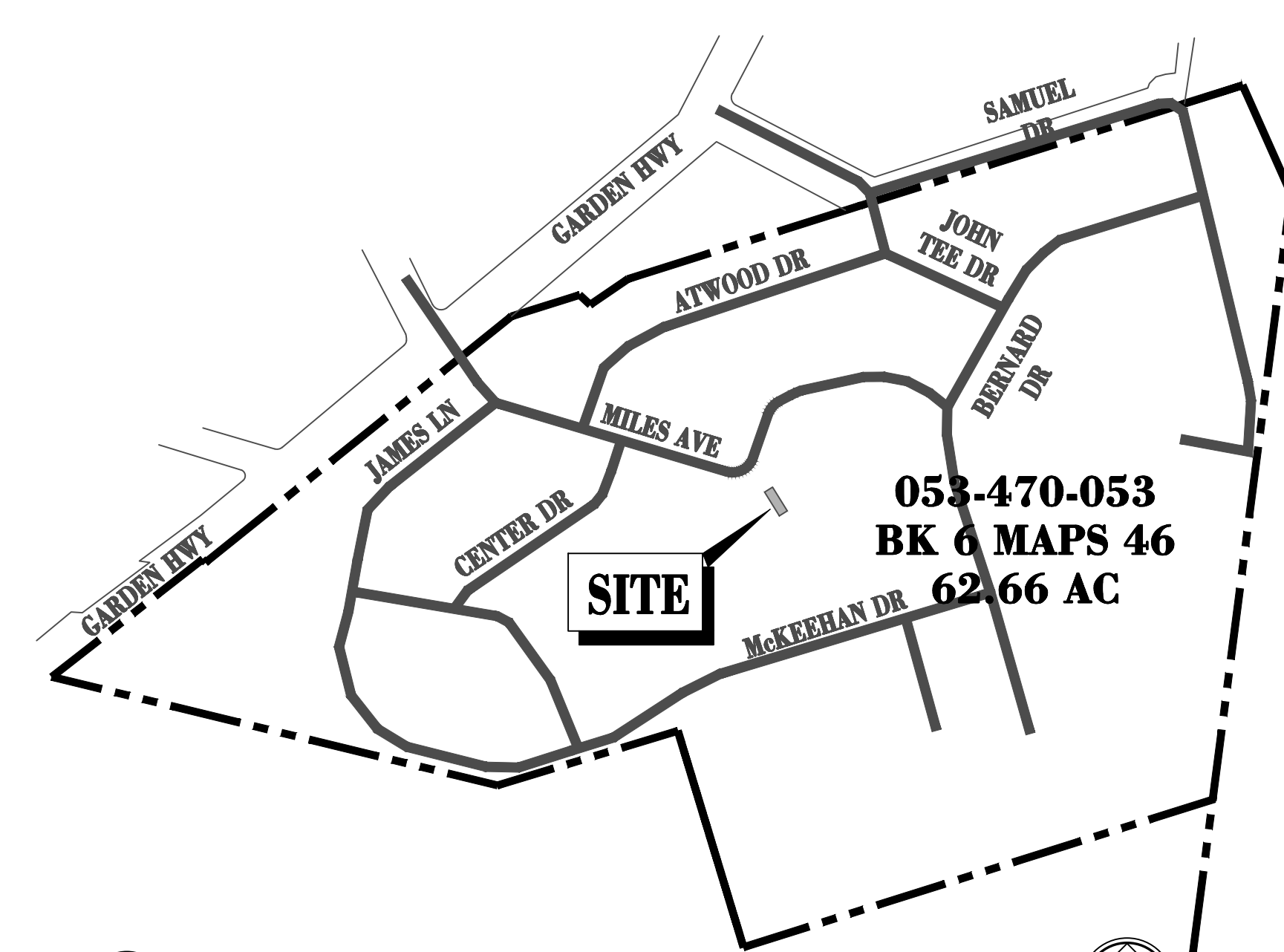
1. ALL SOILS TRACKED ONTO PAVED ROADWAYS MUST BE CLEANED UP ON A DAILY BASIS. WHEN STREETS ARE WET OR DURING A RAIN EVENT THERE SHALL BE NO TRACKING OF SOILS ONTO THE STREET.
2. STAKE STRAW MATS BEHIND CURB OR SIDEWALKS
3. PLACE ROCK BAGS (MIN 2 PER SIDE) AT ALL DRAIN INLET LOCATIONS WITHIN 150' OF THE PROJECT SITE
4. INSTALL INTERNAL SILT FILTER BAGS IN EACH DRAIN INLET
5. STABILIZE ALL DISTURBED SOILS WITHIN 15' OF THE BACK OF CURB OR SIDEWALK. DISPERSE AND TACK-IN STRAW OR USE VISQUEEN OR EROSION CONTROL BLANKETS.
6. ALL PAINT, FUEL, CONSTRUCTION PRODUCTS, ETC SHALL BE STORED IN A COVERED LOCATION AWAY FROM SIDEWALKS AND STORM DRAIN INLETS
7. PORTABLE CHEMICAL TOILETS, IF PROVIDED ON THE SITE MUST BE KEPT OFF THE STREETS AND SIDEWALKS AND AT LEAST 50' FROM THE NEAREST STORM DRAIN INLET
8. ALL TRASH MUST BE COLLECTED AND STORED PROPERLY. DO NOT LET ITEMS SUCH AS DRYWALL MUD BOXES, PAINT BUCKETS, CLEANING MATERIAL CONTAINERS, ETC. COME IN CONTACT WITH ANY RAINFALL OR STORM WATER RUNOFF.
9. PROVIDE A DESIGNATED AREA FOR CONCRETE WASHOUT. HAY BALES LINES WITH VISQUEEN MAY BE USED FOR THIS APPLICATION. ROLLWAY BINS MAY ALSO BE USED. ALL CONCRETE WASHOUT SYSTEMS SHALL BE PLACED OFF OF THE PAVED STREETS
10. AFTER INSTALLATION OF THE ABOVE ITEMS IS COMPLETE, A MAINTENANCE PROGRAM NEEDS TO BE DEVELOPED TO INSURE THE CONTINUED EFFECTIVENESS OF YOUR BMPs

EVC FUTURE LOCATION OF ELECTRIC VEHICLE CHARGING STATION

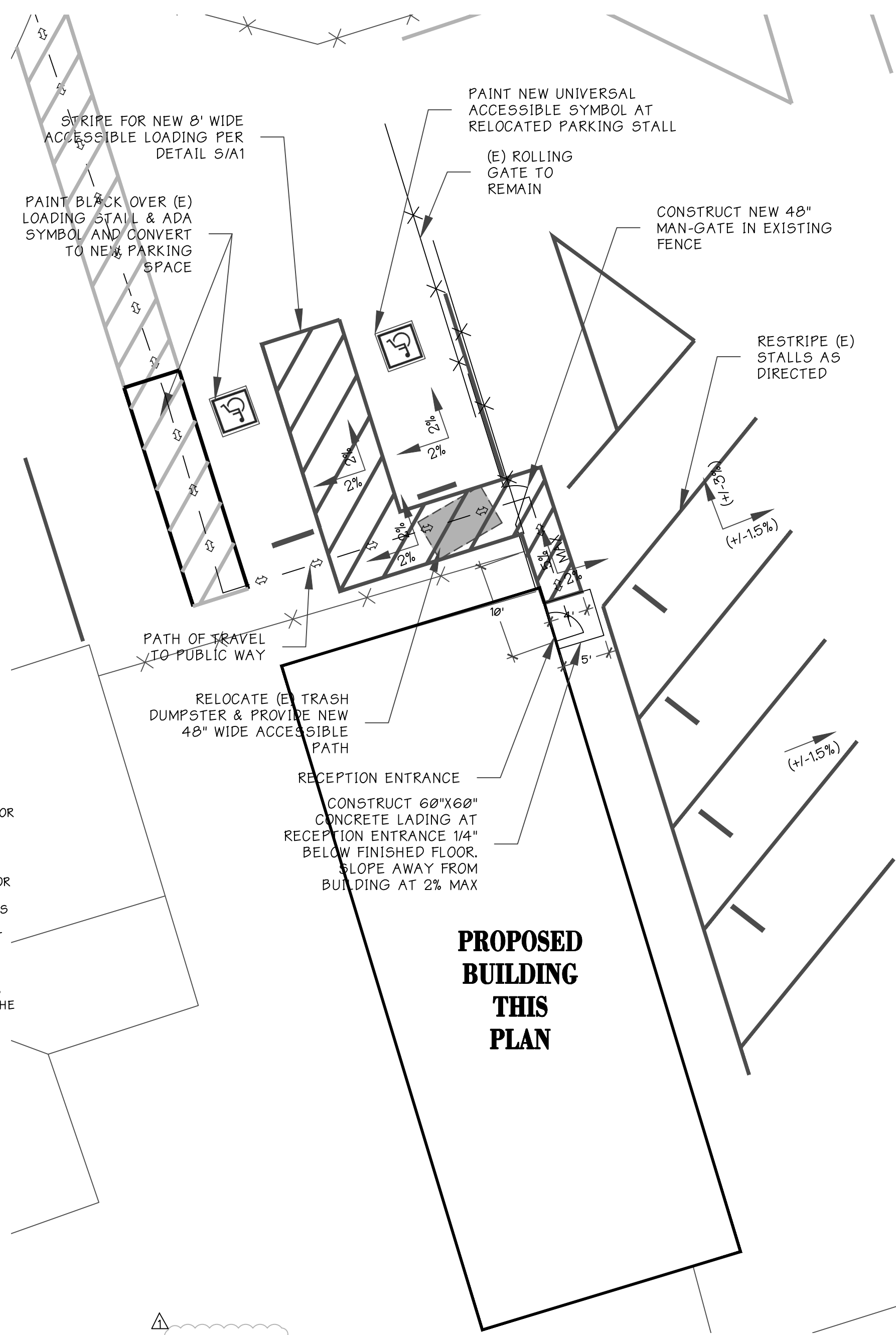
- INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 200/240-VOLT BRANCH CIRCUIT
- RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1-INCH INSIDE DIAMETER).
- RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER.
- RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES.
- SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".



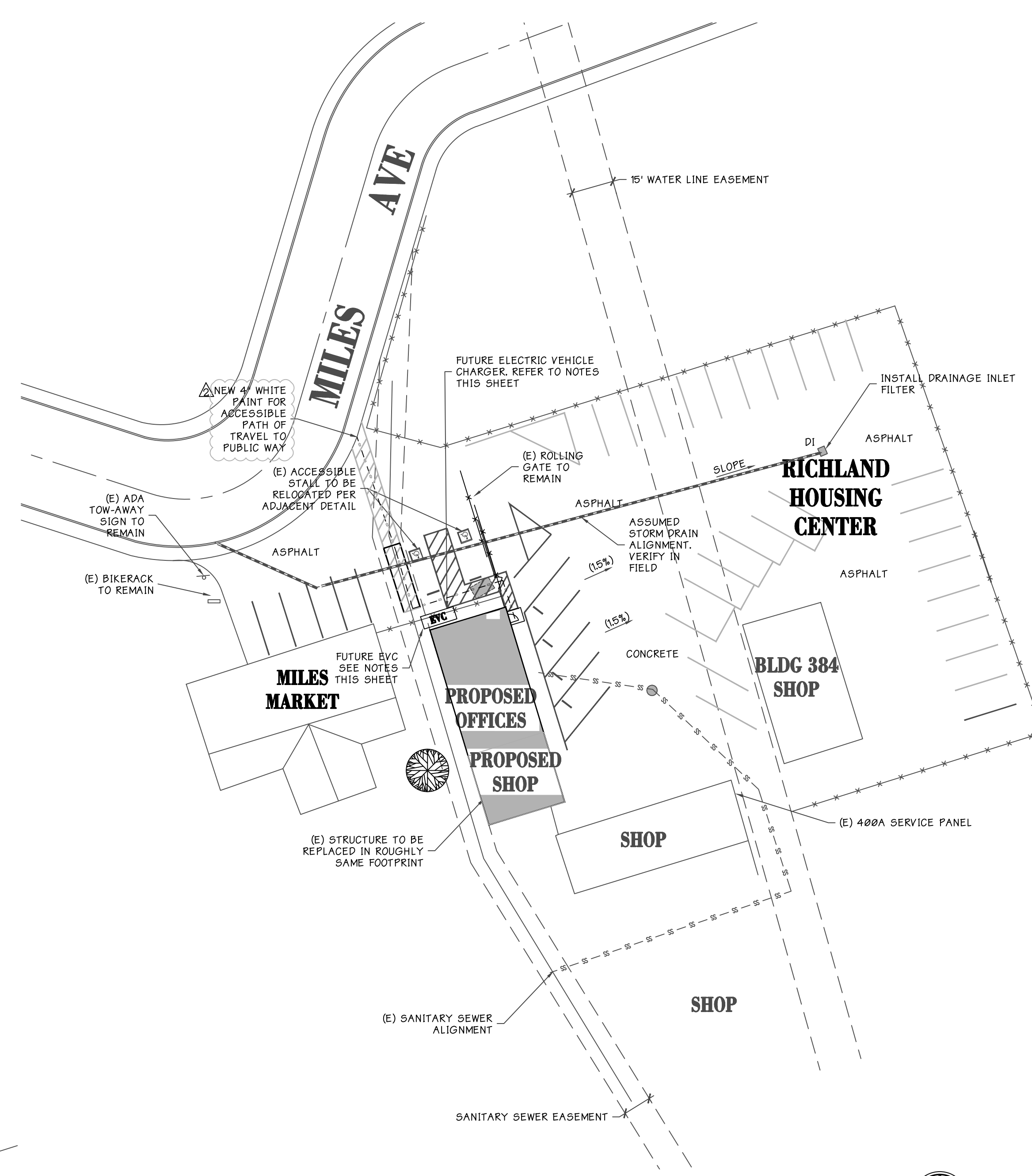
1 S ADA ACCESSIBLE VAN STALL PLAN NTS



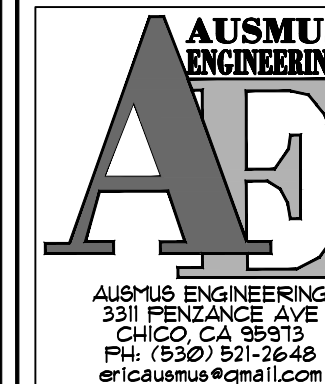
1 PLOT PLAN PLAN 1"=300'



3 ENLARGED SITE PLAN PLAN 1"=10'



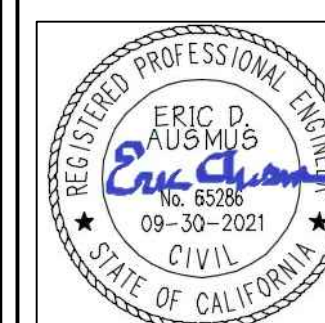
2 OVERALL SITE PLAN PLAN 1"=300'



MAINTENANCE BUILDING
SITE PLAN

REGIONAL HOUSING AUTHORITY
384 MILES AVE
YUBA CITY 95993

REVISION	DATE	DESCRIPTION
1	12/19/19	PLAN CHECK NO. 1
2	07/28/20	PLAN CHECK NO. 2



DATE: OCT 22, 2019

DESIGNED BY: EDA
DRAWN BY: EDA
CHECKED BY: EDA

SCALE: AS NOTED
PROJECT: *

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SHEET NO. A1

FOUNDATION PLAN LEGEND

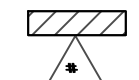

FOOTING 
 POST AS NOTED ON PLAN 

MARK	FOOTING SIZE	FOOTING THICKNESS	BOTTOM REINF EA WAY	TOP REINF EA WAY	ANCHOR RODS	BEARING ANGLE	HAIRPIN TIES	DETAIL	COMMENTS
F1	5'-0" x 5'-0"	30"	(5) - #4		(4) - 3/4" DIA. x 18" EMBED	L2x2x1/4 x 8" LONG	#4 x 15' LEG	1/S1	
F2	5'-0" x 6'-0"	30"	(5) - #4		(4) - 3/4" DIA. x 18" EMBED	L2x2x1/4 x 8" LONG	#4 x 15' LEG	2/S1	
F3	3'-6" x 3'-6"	18"	(4) - #4		(4) - 3/4" DIA. x 8" EMBED			2/S1	
F4	2'-0" x 2'-0"	18"	(2) - #4		(4) - 3/4" DIA. x 8" EMBED			2/S1	
F5	3'-0" x 3'-0"	18"	(3) - #4						
F6	1'-0" CONT.	18"	(1) - #4 CONT.	(1) - #4 CONT.					
F7	1'-6" CONT.	18"	(2) - #4 CONT.	(2) - #4 CONT.				3/S1	
F8	1'-6" CONT.	18"	(2) - #4 CONT.	(2) - #4 CONT.					
F9	3'-6" x 3'-6"	18"	(4) - #4		(4) - 3/4" DIA. x 8" EMBED	L2x2x1/4 x 8" LONG	#4 x 15' LEG	2/S1	
F10	2'-6" x 2'-6"	18"	(3) - #4		(4) - 3/4" DIA. x 8" EMBED	L2x2x1/4 x 8" LONG	#4 x 15' LEG	2/S1	

NOTES:

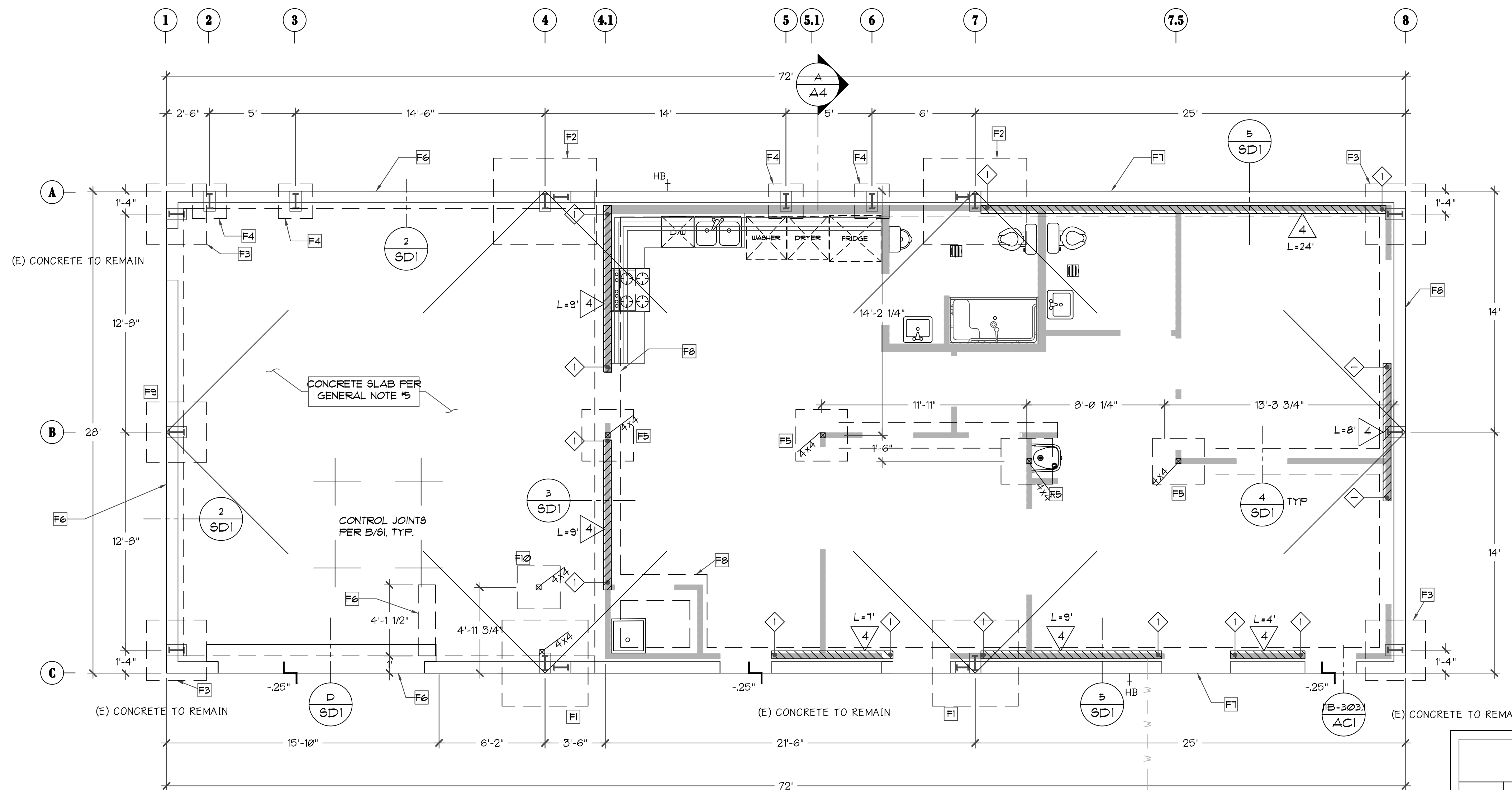
- ANCHOR RODS SHALL BE GRADE A307 AND SHALL UTILIZE HEAVY HEX NUTS.
- FOOTING DEPTH IS MEASURED FROM THE LOWEST ADJACENT UNDISTURBED NATURAL GRADE OR COMPACTED ENGINEERED FILL.
- REINFORCING SHALL OCCUR 3" CLEAR OF BOTTOM OF FOOTING, U.O.N.
- WHERE PAD FOOTING OCCUR AT CONTINUOUS FOOTING, THE CONTINUOUS FOOTING REINFORCING SHALL RUN CONTINUOUS THROUGH THE PAD FOOTING, AND THE REINFORCING IN THE TABLE ABOVE SHALL BE ADDED IN ADDITION TO THE CONTINUOUS FOOTING REINFORCING.

SHEAR WALL AND HOLDOWN LEGEND

 INDICATES SHEARWALL TYPE & LENGTH
SEE SCHEDULE THIS SHEET
L=X'-X"
 INDICATES HOLDOWN TYPE
SEE SCHEDULE BELOW

SLAB FLOOR GENERAL NOTES

- SEE SITE PLAN AND/OR FLOOR PLAN FOR WALKS, STOODS, ETC. NOT SHOWN HERE. VERIFY ALL FLAT WORK WITH CLIENT PRIOR TO INSTALLATION. ALL LANDINGS SHALL BE 36"x36" SQUARE AND SLOPED BETWEEN 1% AND 2%.
 - ALL FOUNDATION ANCHOR BOLTS SHALL HAVE 3"x3"x0.2296" THICK SQUARE PLATE WASHERS, TYPICAL.
 - EXTEND FOOTING DEPTH TO MAINTAIN 3" MIN. CLEARANCE BETWEEN SOIL & HOLDOWN ANCHOR BOLT WHERE OCCURS. THE FOOTING DEPTH SHALL BE MAINTAINED FOR A MINIMUM OF 6" ON ALL SIDES OF THE ANCHOR BOLT.
 - FOR NON-SHEARWALLS, PROVIDE MINIMUM 5/8" DIA. x 7" EMBED ANCHOR BOLTS AT A MAXIMUM SPACING OF 6'-0" O.C. PROVIDE A MINIMUM OF (2) ANCHOR BOLTS PER SILL, WITH (1) BOLT WITHIN 1'-0" OF EACH END OF THE SILL PLATE. REFER TO SHEARWALL SCHEDULE FOR REQUIREMENTS THAT APPLY TO SHEARWALLS.
 - SLAB ON GRADE:
5" THICK CONCRETE SLAB, W/ #4 BARS AT 18" O.C. EACH WAY (AT MID-DEPTH OF SLAB), OVER 4" OF CLEAN CRUSHED GRAVEL, OVER SUB-GRADE. WHERE MOISTURE PENETRATION THROUGH THE SLAB IS A CONCERN (AS TYPICAL IN CONDITIONED AREAS), BARRIKRETE (OR EQUIVALENT) MOISTURE REPELLENT MAY BE USED IN THE SLAB.
- NOTE:**
WELDED WIRE MESH REINFORCING, WHILE ACCEPTABLE ACCORDING TO MINIMUM BUILDING CODE REQUIREMENTS, IS GENERALLY CONSIDERED LESS EFFECTIVE AT PREVENTING/REDUCING SLAB CRACKS DUE TO SUB-GRADE SETTLEMENT, AS COMPARED TO STANDARD REBAR REINFORCING. KNOWING THIS, THE OWNER MAY OPT FOR THE 6x6 W2.9 X W2.9 WIRE MESH SHEET ALTERNATIVE, IF DESIRED.
- VERIFY LOCATION OF PLUMBING FIXTURES
 - CONTRACTOR SHALL LOCATE CONTROL JOINTS AS REQUIRED (MAXIMUM SPACING IN ANY DIRECTION SHALL NOT EXCEED 15').



1 FOUNDATION PLAN
A2 PLAN
1/4"=1'
NORTH

TYPE	SHEATHING	CAPACITY	PANEL NAILING	MIN. FRAMING SIZE	ANCHOR BOLTS
4	3/8" OSB	350	8d COMMON NAILS AT 4" O.C. EDGES & 12" O.C. FIELD	2x SILL PL. STUDS & BUR'G AT ADJOINING PANEL EDGES	5/8" DIA. x 7" EMBED AT 32" O.C.

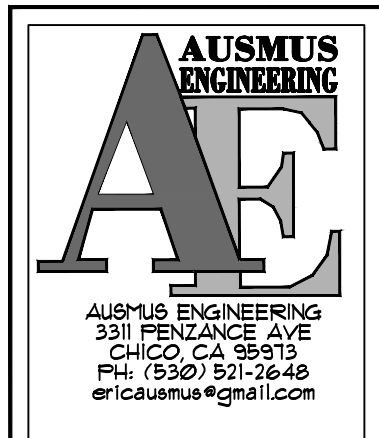
NOTES:

- EMBEDMENT IS MEASURED FROM THE TOP OF THE FIRST CONCRETE POUR.
- SHEARWALL LENGTHS SHOWN ON THE PLANS ARE MINIMUMS AS REQUIRED BY CALCULATION AND MAY BE INCREASED FOR CONSTRUCTION CONVENIENCE. REFER TO ARCH'L DRAWINGS FOR ACTUAL WALL LENGTHS.
- MINIMUM HOOK LENGTH FOR ANCHOR BOLTS SHALL BE 12" LONG TYPICAL UNLESS NOTED OTHERWISE. ALL ANCHOR BOLTS REQUIRE 3"x3"x0.229" PL. WASHER (OR SIMPSON BP), MINIMUM TYPICAL.
- ALL NAILS SHALL BE COMMON NAIL. "SHORT" NAILS SHALL BE THE SAME DIAMETER AS COMMON NAILS BUT A LENGTH EQUAL TO 1 1/2" PLUS THE THICKNESS OF THE SHEATHING.

TYPE	DESCRIPTION	FASTENERS	BOUNDARY MEMBER	CAPACITY (LBS)	HOLDOWN	MIDWALL / CORNER	GARAGE
1	HD4	10-1/4" x 3" LONG SDS SCREWS	DBL 2x	4565	55TB16		55TB20

NOTES:

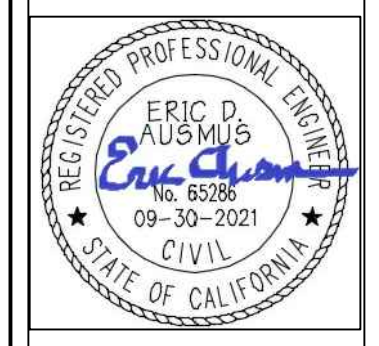
- STITCH DOUBLE STUDS AT HOLDOWNS TOGETHER WITH 16d COMMONS 8" O.C. FULL HEIGHT OF STUDS
- PROVIDE 12" DIAMETER (OR SQUARE) DEEPEMED CONCRETE ZONE UNDER HOLDOWN ANCHORS (55TB's) AS REQUIRED TO ACHIEVE 3" SOIL CLEARANCE.
- PROVIDE PANEL EDGE NAILING ALONG THE FULL HEIGHT OF MEMBER ATTACHED TO HOLDOWN.
- POSTS AS REQUIRED BY THE HOLDOWN SCHEDULE MAY NOT BE SHOWN ON THE PLANS. USE LARGER MEMBER SHOWN.



MAINTENANCE BUILDING
 FOUNDATION PLAN

REGIONAL HOUSING AUTHORITY
384 MILES AVE
YUBA CITY 95993

REVISION	DATE	DESCRIPTION



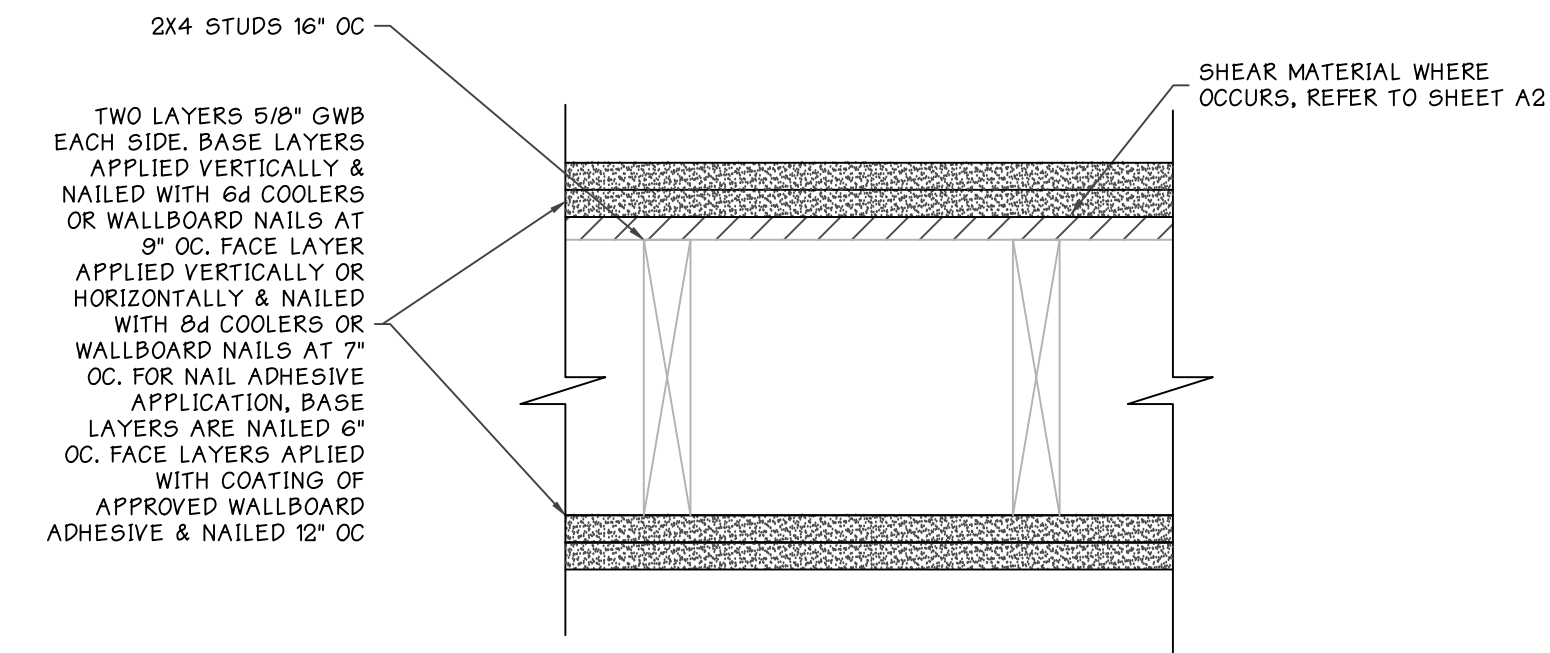
DATE: OCT 22, 2019

DESIGNED BY: EDA
 DRAWN BY: EDA
 CHECKED BY: EDA

SCALE: AS NOTED
 PROJECT: *
 PAGE 3 OF
A2

OCCUPANCY TABLE CALCULATION								
NUMBER	OCCUPANCY	FUNCTION OF SPACE	GROSS AREA	NET AREA	OCCUPANT LOAD FACTOR	OCCUPANTS / SPACE		TOTAL OCCUPANTS
						LOAD FACTOR BASED	FIXED SEATS	
100	S-2	SHOP	718 SF		500 SF	2		4
101	B	BREAKROOM		315 SF	15 NET	21		21
102	B	OFFICE 1	188 SF		100 SF	2		2
103	B	OFFICE 2	161 SF		100 SF	2		2
104	B	RECEPTION		238 SF	15 NET	16		16
105	S-2	MEZZANINE	1,298 SF		300 SF	5		5

OCCUPANCY SEPARATION TBL 508.4
 B/S-2 = 2 HR SEPARATION REQUIRED
 PROVIDE 2-HR WALL ASSEMBLY ALONG LINE 4.1
 PROVIDE 2-HR CEILING/FLOOR ASSEMBLY UNDER MEZZANINE PER A/A4



F 2-HR WALL CBC TABLE 721.1(2) ITEM 14-1.5
A3 SECTION

FIRE CODE NOTES

- Address Numbers: Approved address numbers, building numbers or approved building identification shall be placed in a position that is plainly legible and visible from the street, road, alley, and walkways giving access to and within the property. These numbers shall contrast with their background. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be a minimum of six (6) inches (152 mm) high with a minimum stroke width of 0.5 inches (12.7 mm) and shall be illuminated in an approved manner (if numbers are on the exterior). Number height and stroke width shall be increased as needed for legibility based on visibility distance.
- Fire Extinguishers: Provide a fire extinguisher (minimum 2A-10BC) within a recessed or semi-recessed cabinet within 75 feet travel distance from all points in the occupancy; the extinguisher shall be mounted on a hook within the cabinet (elevated off cabinet floor); the top of the extinguisher shall be no higher than 48 inches (1219 mm) above the floor; extinguisher shall be placed in a easily accessible locations where they will be readily accessible and immediately available for use.
- Emergency lighting: Emergency lighting shall comply with the provisions of current CBC 1008. The means of egress illumination shall not be less than one (1) foot-candle at the walking surface level. In the event of power supply failure, an emergency electrical system shall automatically illuminate all areas per code.
- Exit Signs: Exit signs shall be readily visible from any direction of egress travel, be illuminated at all times and comply with provisions of the current CBC 1013.
- Door operations: All exit doors shall be operable from the inside without key, special knowledge, or effort. The unlatching of any exit door shall not require more than one operation.
- Locks and Latches: The locking device for the main exterior exit door(s) shall be readily distinguishable as locked. Door shall also have a visible durable sign stating: "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED." The sign shall be in letters one inch high on contrasting background (above the door) posted on the egress side or adjacent to the door.

CODE ANALYSIS SYMBOLS

- 2X4 STUDS AT 16". USE 2X6 AT PLUMBING WALLS.
- NEW 2-LIGHT LED EMERGENCY LIGHTING W/ 90 MIN BATTERY INTERCONNECTED WITH (E) FIRE ALARM SYSTEM, LITHONIA ELM2 LED M12 QUANTUM OR EQUAL (80 LUMENS)
- 5-FOOT-CANDLE ILLUMINATED EXIT SIGN WITH SUPPLEMENTAL LED LIGHTS, HARDWIRED WITH 90-MIN BATTERY BACKUP
- ALLOWABLE SF PER OCCUPANT (PER CBC TABLE 1004.1.2)
- OCCUPANT LOAD
- NUMBER OF EXITS REQUIRED (PER CBC 1006)
- TACTILE EXIT SIGNAGE PER CBC 1011.3 EXIT SHALL BE IDENTIFIED WITH THE WORD "EXIT"
- PROVIDE UL LISTED COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR, BATTERY POWER, HARDWIRED AND INTERCONNECTED

KEYNOTE LEGEND

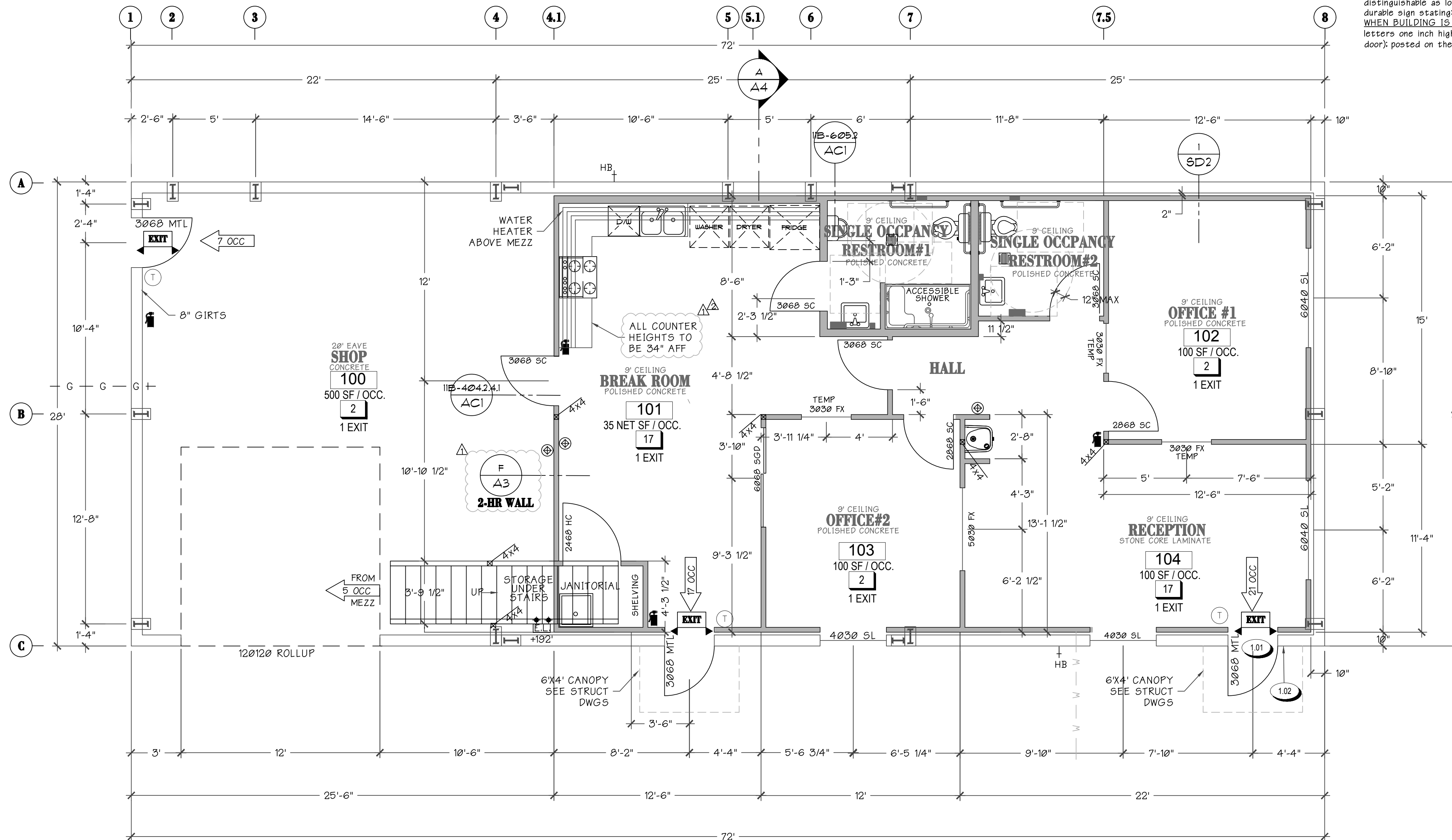
- 1.01 MAIN PUBLIC EXIT DOOR IS PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED. A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING, "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED." THE SIGN SHALL BE IN LETTERS 1" HIGH WITH CONTRASTING LETTERS. PANIC HARDWARE NOT REQUIRED FOR GROUP E OCCUPANCY PER CBC 1010.1.10
- 1.02 INSTALL 6" SQ UNIVERSAL ACCESSIBILITY STICKER OR SIGN AT ENTRANCE. MOUNT CENTER OF SIGN 60" AFF. INSTALL ADJACENT TO DOOR ON THE LATCH SIDE.
- 1.03 INSTALL ALL-GENDER SIGN PER DETAIL D/P1
- 1.04 INSTALL CALIFORNIA ACCESSIBLE DRINKING FOUNTAIN WITH BOTTLE FILLER. SEE SHEET F1
- 1.05 NEW WOOD STAIRS. 7" MAX RISE 12" MIN TREAD. SEE STRUCTURAL DRAWINGS

TEMPERED WINDOWS

- ALL GLAZING WITHIN 60" FROM THE BOTTOM OF STAIR LANDINGS SHALL BE TEMPERED
- ALL GLAZING WITHIN 24" OF A DOOR, INCLUDING ITS SWING SHALL BE TEMPERED
- ALL GLAZING WITHIN 60" FROM THE WATER'S EDGE OF A BATHTUB
- IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS
- GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING BATHTUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60", MEASURED VERTICALLY ABOVE THE STANDING OR WALKING SURFACE
- EXPOSED AREA OF AN INDIVIDUAL PANE LARGER THAN 9 SQ. FT.
- BOTTOM EDGE IS LESS THAN 18" ABOVE FF
- ONE OR MORE WALKING SURFACES ARE WITHIN 36", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF GLAZING
- WITHIN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND NON-STRUCTURAL IN-FILL PANELS, REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE

CLASS-A, TYPE 2-A10BC STREAM LOADED FIRE EXTINGUISHER. LOCATE SUCH THAT THE TRAVEL DISTANCE TO THE APPARATUS DOES NOT EXCEED 75 FEET. MIN. 1 EXTINGUISHER EA. 3,000 SQ. FT.

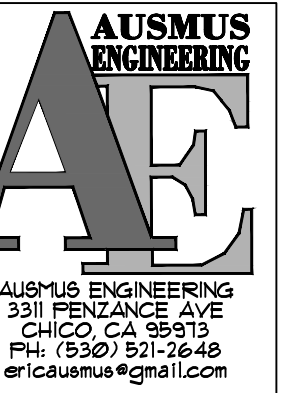
AT EACH LOCATION AS INDICATED ON THE PLAN WITH THIS SYMBOL A PORTABLE FIRE EXTINGUISHER. PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE. THESE LOCATIONS SHALL BE ALONG NORMAL PATHS OF TRAVEL. FIRE EXTINGUISHERS HAVING A GROSS WEIGHT NOT EXCEEDING 40 LBS SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 9'-6" ABOVE THE FLOOR. HAND-HELD FIRE EXTINGUISHERS EXCEEDING 40 LBS SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. CLEARANCE BETWEEN THE FLOOR AND THE BOTTOM OF INSTALLED HAND-HELD EXTINGUISHERS SHALL NOT BE LESS THAN 4 INCHES. REFER TO CBC 906 FOR ADDITIONAL REQUIREMENTS.



1 FLOOR & EXITING PLAN
A3 PLAN

AREA SUMMARY

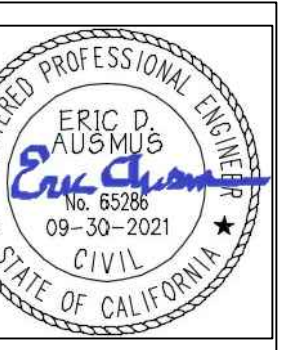
DESCRIPTION	CONDITIONED	UNCONDITIONED
OFFICES	1,298 SQFT	
SHOP		718 SQFT
MEZZANINE		1,298 SQFT



MAINTENANCE BUILDING
 FLOOR & EXITING PLAN

REGIONAL HOUSING AUTHORITY
384 MILES AVE
YUBA CITY 95993

DESCRIPTION	PLAN CHECK NO. 1
DATE	07/22/22
REVISION	



DATE:
 OCT 22, 2019

DESIGNED BY: EDA
 DRAWN BY: EDA
 CHECKED BY: EDA

SCALE:
 AS NOTED

PAGE 4 OF 4

SHEET NO. **A3**

REVISION	DATE	DESCRIPTION
	12/28/19	PLAN CHECK #1
	07/28/20	PLAN CHECK #2



DATE: OCT 22, 2019

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 DRAWN BY: EDA
 CHECKED BY: EDA

SCALE: AS NOTED

PROJECT: *
 PAGE 5 OF 5

SHEET NO. **A4**

GENERAL NOTES

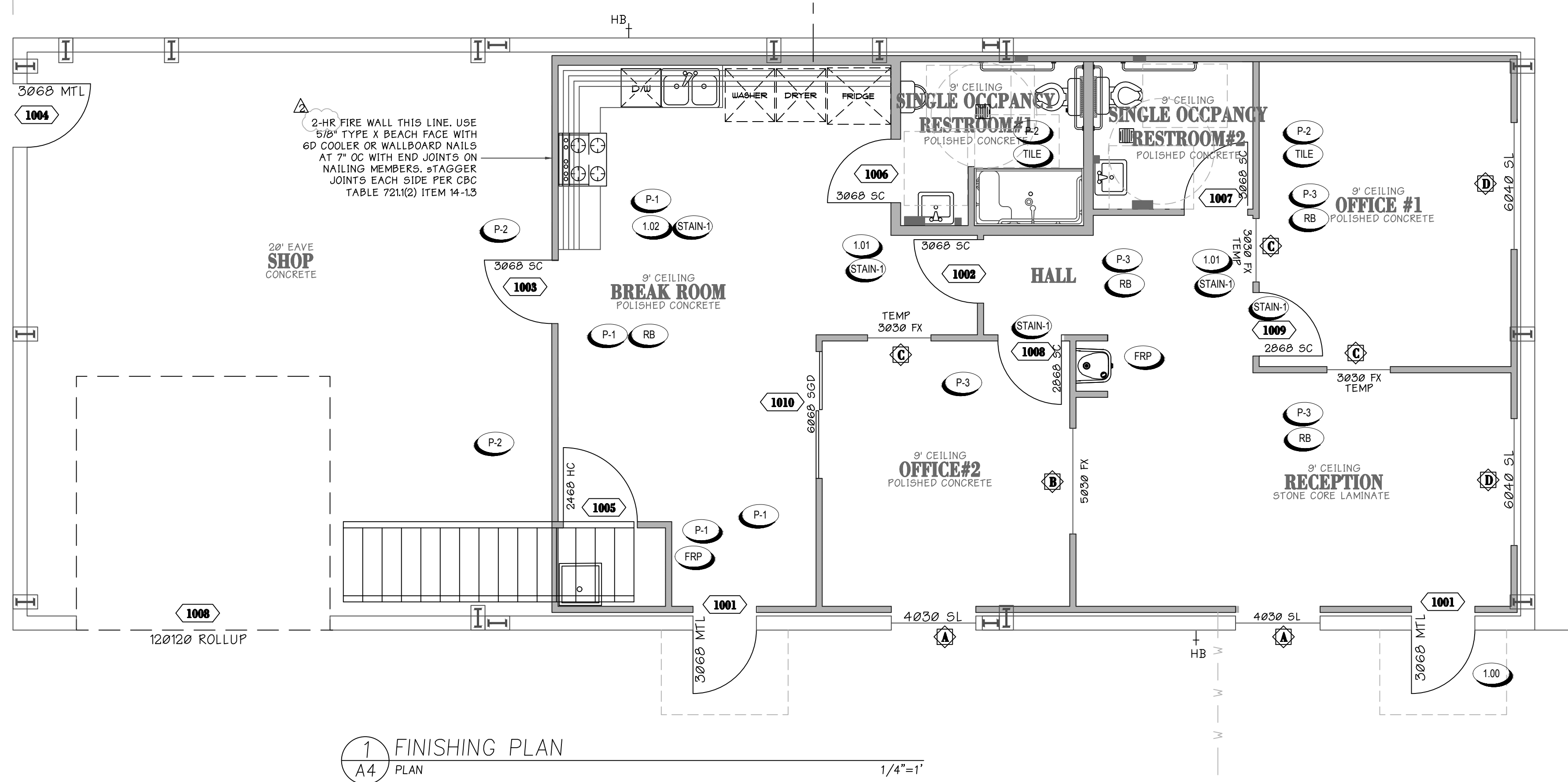
REFER TO FLOOR & EXIT PLAN FOR ADDITIONAL SIGNAGE NOT SHOWN HERE
 REFER TO DETAIL 2/P1 FOR ADDITIONAL INFORMATION NOT SHOWN HERE

KEYNOTE LEGEND

- 1.00 INSTALL 6" SQ UNIVERSAL ACCESSIBILITY STICKER OR SIGN AT ENTRANCE. MOUNT CENTER OF SIGN 60" AFF. INSTALL ADJACENT TO DOOR ON THE LATCH SIDE.
- 1.01 INSTALL ALL-GENDER SIGN PER DETAIL B/P1
- 1.02 GRANITE COUNTER TOPS WITH UPPER AND LOWER CABINETS. PROVIDE SAMPLES TO OWNER AND OBTAIN CABINET DESIGN FOR APPROVAL.

FINISH LEGEND

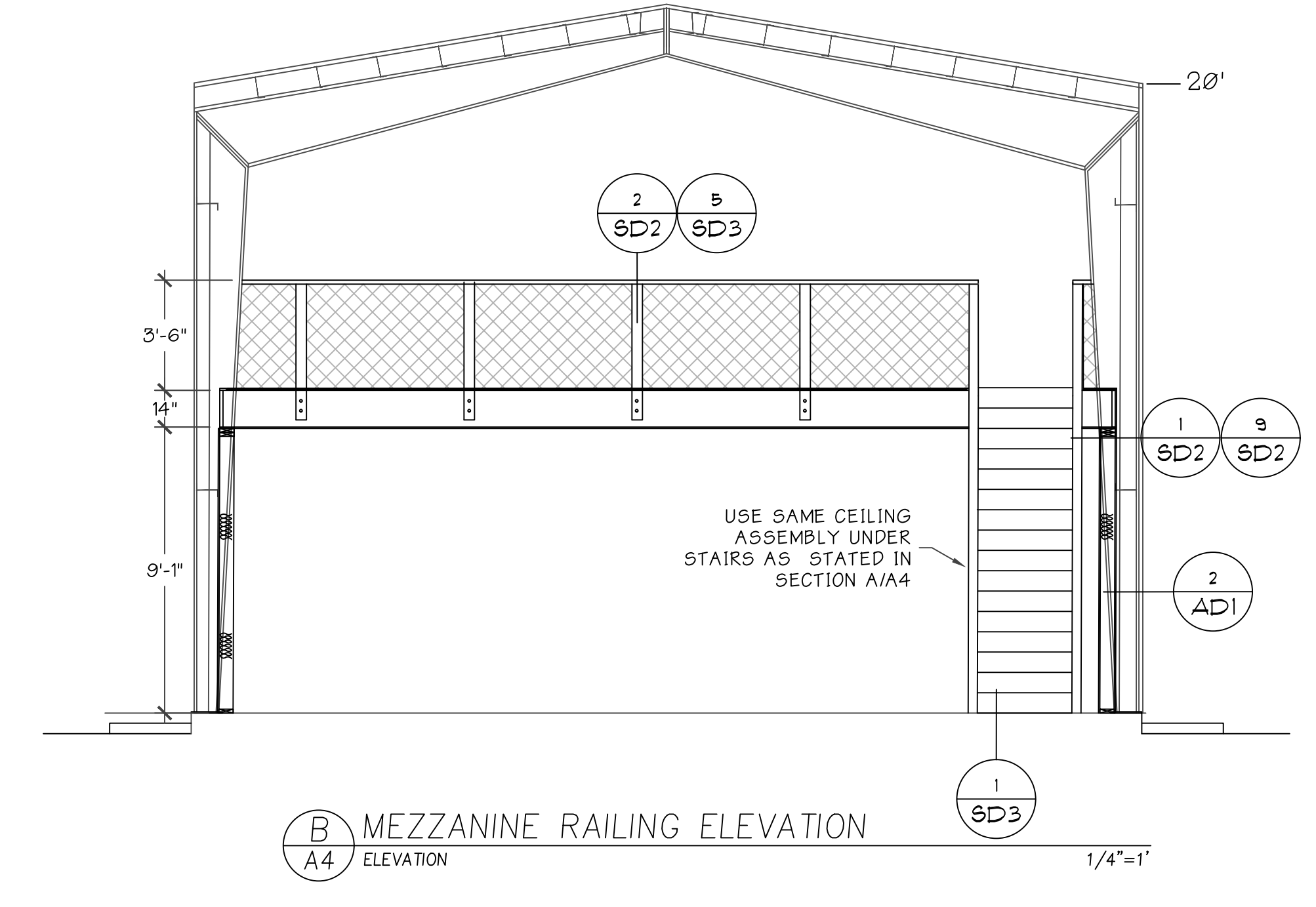
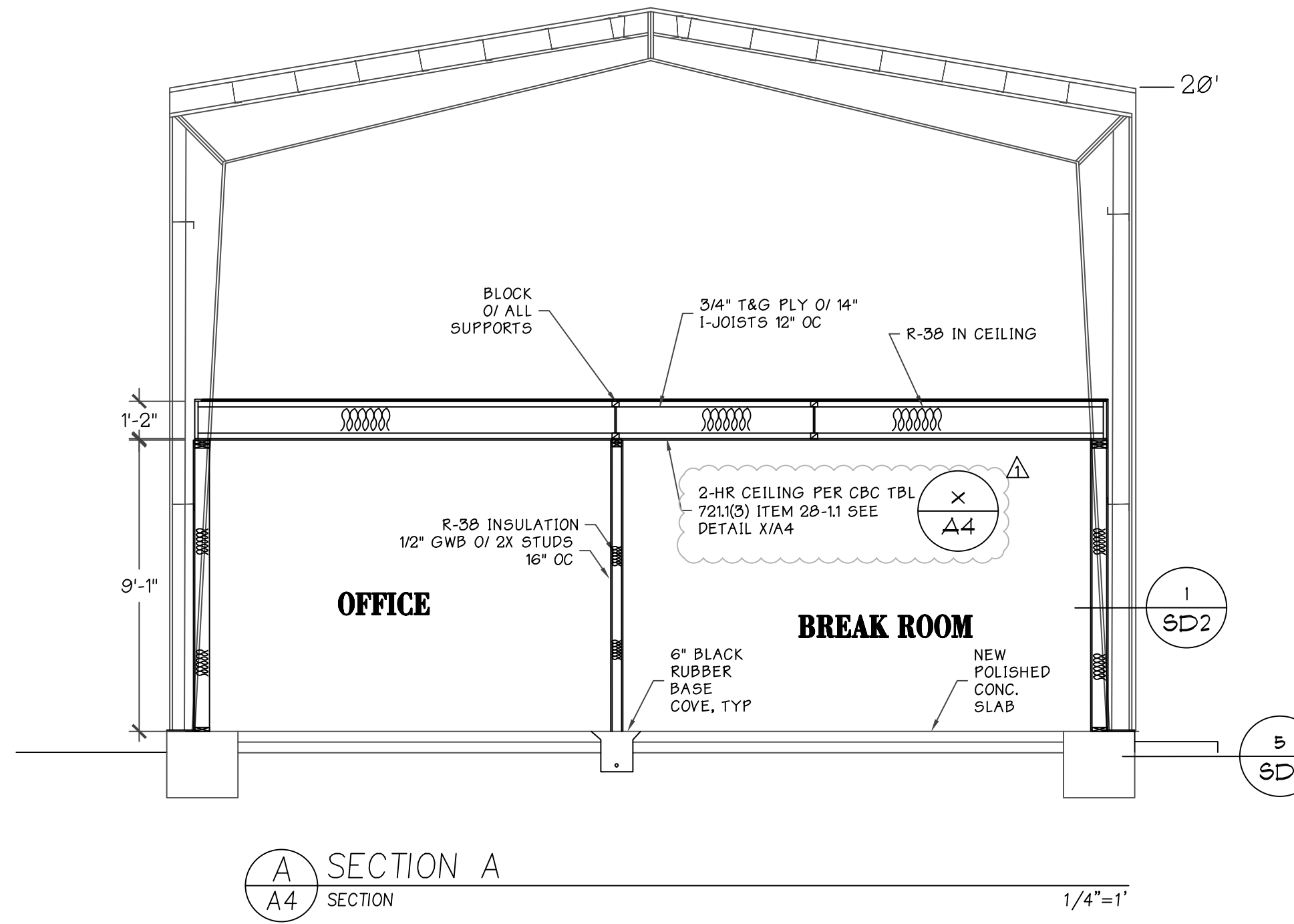
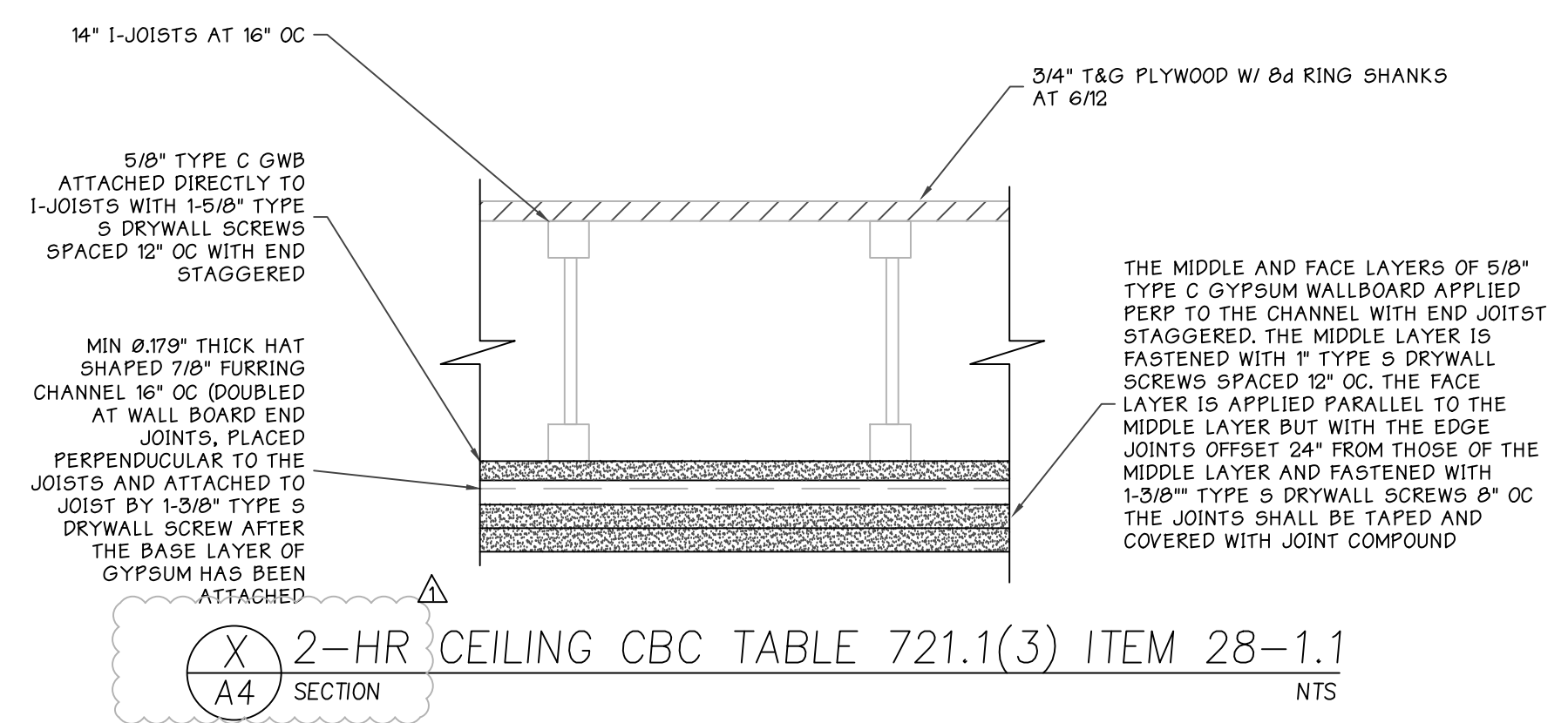
CALLOUT	MFGR/MODEL/SHEEN	COLOR
TILE	TO 48" ABOVE FINISHED FLOOR. DAL TILE HEATHLAND SERIES 12"x12" CERAMIC TILE W/ 3/16" BULLNOSE P-43C9, 6x12 COVE BASE P-36C9TB	ASHLAND HL05 GROUT: CHARCOAL #60
FRP	FIBERGLASS REINFORCED WALL PANELING 4'x8'x0.090"	WHITE
P-1	SHERWIN WILLIAMS OVATION INTERIOR LATEX PAINT, EGGSHELL	SW 7004 SNOWBOUND
P-2	SHERWIN WILLIAMS OVATION INTERIOR LATEX PAINT, SEMI-GLOSS	SW 7004 SNOWBOUND
P-3	SHERWIN WILLIAMS OVATION INTERIOR LATEX PAINT, SEMI-GLOSS	SW 7037 BALANCED BEIGE
RB	BURKEBASE 6" RUBBER WALL BASE	BLACK
STAIN	SHERWIN WILLIAMS SHER-WOOD STAIN W/ WATER WHITE CONVERSION VARNISH, DULL RUBBED EFFECT V04F03	CINNAMON 564N00502



1 FINISHING PLAN
 A4 PLAN
 1/4"=1'

WINDOW INFORMATION										GLAZING				NOTES
KEY	QTY	WIDTH	HEIGHT	SL. FINISH	MANUF	MODEL	MATERIAL	OPERATION	FINISH/COLOR	THICKNESS	CLEAR	U-VALUE	VLT	
A	2	48"	36"	P-3	LOCALLY SOURCED	LOCALLY SOURCED	METAL	SLIDER	DARK BRONZE ANNOXIDIZED FINISH	1/4"	CLEAR			REFER TO ATTACHED ENERGY CALCS
B	1	60"	36"	P-3	LOCALLY SOURCED	LOCALLY SOURCED	METAL	FIXED	DARK BRONZE ANNOXIDIZED FINISH	1/4"	SAFETY GLAZING	CLEAR		REFER TO ATTACHED ENERGY CALCS
C	1	36"	36"	P-3	LOCALLY SOURCED	LOCALLY SOURCED	METAL	FIXED	DARK BRONZE ANNOXIDIZED FINISH	1/4"	SAFETY GLAZING	CLEAR		REFER TO ATTACHED ENERGY CALCS
D	2	72"	48"	P-3	LOCALLY SOURCED	LOCALLY SOURCED	METAL	SLIDER	DARK BRONZE ANNOXIDIZED FINISH	1/4"	SAFETY GLAZING	CLEAR		REFER TO ATTACHED ENERGY CALCS

DOOR INFORMATION				FRAME			HARDWARE/SIGNAGE					NOTES			
MARK	ROOM NAME(S)	HAND	SIZE	STYLE/MODEL/OPTIONS	MATERIAL/FINISH	MATERIAL	THICKNESS	FINISH	HINGES	CONTROLS	LOCKS		CLOSER	THRESHOLD	SEALS
1001	MAIN ENTRY & SECONDARY	RT	3'-0" x 6'-0" x 1-3/4"	1/8" GAUGE METAL FLUSH W/ HALF GLASS TEMPERED GLASS PANEL	PAINT-3	1/8" GA WELDED METAL FRAME	2"	PRIME & PAINT TO MATCH DOOR	3	SCHLAG AL SERIES SAT 626 W/ PANIC BAR	DEAD BOLT	LCN-5010	PEMCO P-157A ALUM FINISH	PEMCO 500	QTY OF 2. REFER TO EXIT PLAN FOR SIGNAGE
1002	HALL	RT	3'-0" x 6'-0" x 1-3/4"	SOLID CORE WOOD FLUSH W/ HALF GLASS TEMPERED GLASS PANEL	PREFINISHED PLAIN SLICED CHERRY OR RED OAK	PRE-HUNG		PRIME & PAINT TO MATCH DOOR	3		LEVER	LCN-5010			STAINLESS STEEL TOE PLATE
1003	BREAKROOM/ SHOP	RT	3'-0" x 6'-0" x 1-3/4"	1/8" GAUGE METAL FLUSH W/ HALF GLASS TEMPERED GLASS PANEL	PAINT-3	1/8" GA WELDED METAL FRAME	2"	PRIME & PAINT TO MATCH DOOR	3		LEVER	LCN-5010			1-1/2 HOUR FIRE RATED DOOR ASSEMBLY
1004	SHOP MANDOUR	LT	3'-0" x 6'-0" x 1-3/4"	1/8" GA HOLLOW METAL	PAINT-3	1/8" GA WELDED METAL FRAME	2"	PRIME & PAINT TO MATCH DOOR	3	SCHLAG AL SERIES SAT 626 WITH KEY	DEAD BOLT	LCN-5010	PEMCO P-157A ALUM FINISH	PEMCO 500	BREAKROOM DOOR SIGNAGE
1005	JANITOR CLOSET	LT	2'-4" x 6'-0" x 1-3/4"	HOLLOW CORE WOOD 6-PANEL	PAINT-1	PRE-HUNG	-	PRIME & PAINT TO MATCH DOOR	2		LEVER W/ LOCK				JANITORIAL DOOR SIGNAGE
1006	UNISEX 1	LT		SOLID CORE WOOD FLUSH	STAIN-1	PRE-HUNG	-	PRIME & PAINT TO MATCH DOOR	2		LEVER W/ LOCK	LCN-5010			
1007	UNISEX 2	RT		SOLID CORE WOOD FLUSH	STAIN-1	PRE-HUNG	-	PRIME & PAINT TO MATCH DOOR	2		LEVER W/ LOCK	LCN-5010			REFER TO DETAIL U ON A12
1008	OFFICE #2	LT	2'-0" x 6'-0" x 1-3/4"	SOLID CORE WOOD FLUSH W/ TEMPERED GLASS PANEL	STAIN-1	1/8" GA WELDED METAL FRAME	-	PRIME & PAINT TO MATCH DOOR	3	SCHLAG AL SERIES SAT 626 KEYLESS	LEVER W/ LOCK				
1009	OFFICE #1	RT	2'-0" x 6'-0" x 1-3/4"	SOLID CORE WOOD FLUSH W/ TEMPERED GLASS PANEL	STAIN-1	1/8" GA WELDED METAL FRAME	-	PRIME & PAINT TO MATCH DOOR	3	SCHLAG AL SERIES SAT 626 KEYLESS	LEVER W/ LOCK				
1010	OFFICE #2		6'-0" x 6'-0"	DUAL PANE TEMPERED W/ CLEAR GLAZING		VYNL					LEVER LOCK				



A SECTION A
 A4 SECTION
 1/4"=1'

B MEZZANINE RAILING ELEVATION
 A4 ELEVATION
 1/4"=1'

FLOOR BEAM SCHEDULE

BEAM ID.	SIZE	SUPPORT LEFT/BOTTOM	SUPPORT TOP/RIGHT	COMMENTS
FB01	35x18 F&L	4x4 L&L	4x4 L&L	
FB02	35x14 F&L	4x4	4x4 L&L	
FB03	4x12 DF. 7	DBL 2x4	DBL 2x4	5/2215 STRAP AT BEAM SPLICE AT ABUTTING BEAMS

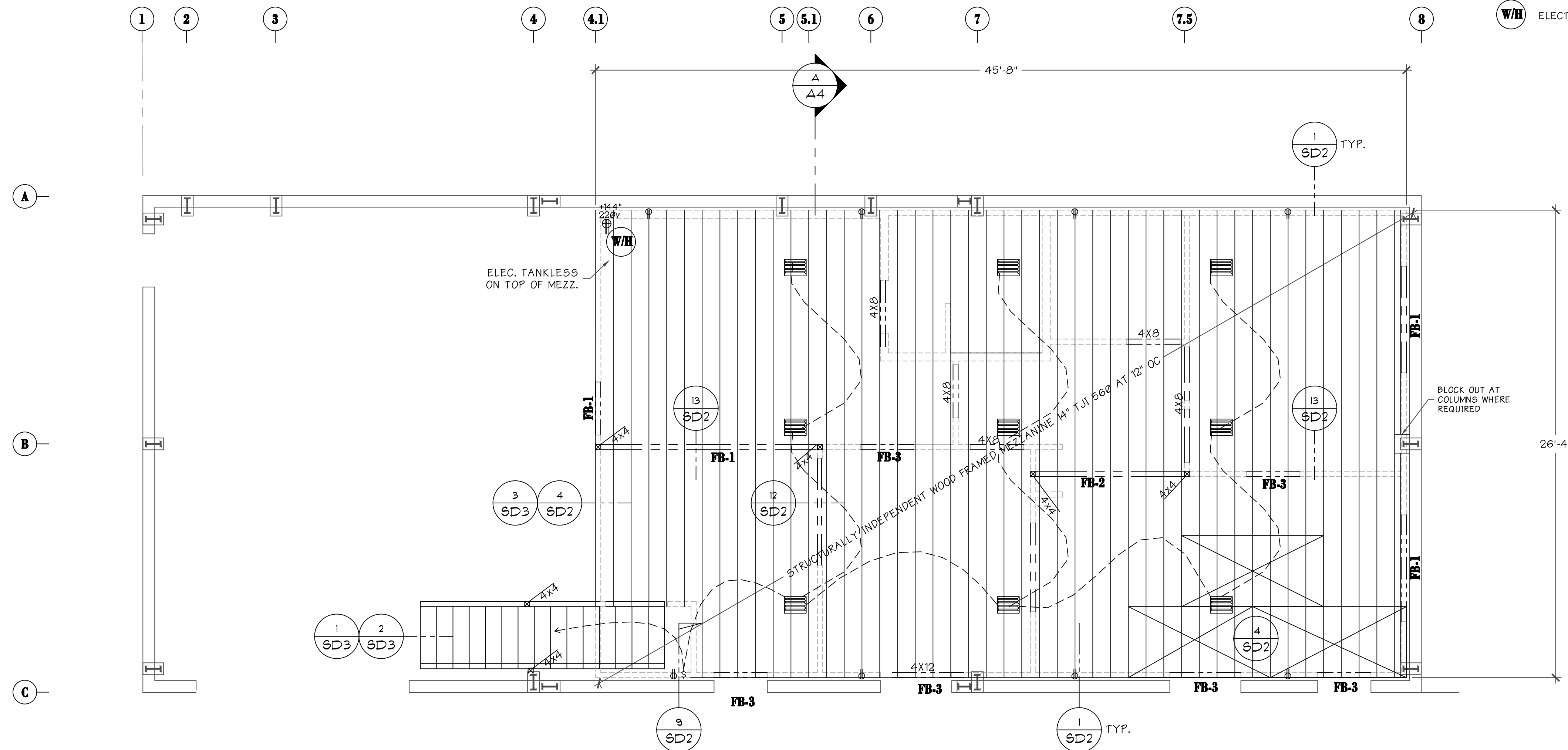
NOTES:
 1. REFER TO SHEAR WALL AND HOLD-DOWN SCHEDULES FOR POSSIBLE GOVERNING POST REQUIREMENTS.
 2. ALL POSTS ARE DF#2 UON.

DEFINITIONS:
 BOB = BOTTOM OF BEAM
 TOP = TOP OF BEAM
 T.O.P. = TOP OF TOP OF PLATE
 GLB = GLULAM BEAM 18E
 FL = FLUSH
 L&L = TIMBERSTRAND BEAM 18E
 F&L = PARALLAM BEAM 22E
 LVL = MICRO-LAM BEAM LVL 19E
 HGR = HANGER
 FB = FLOOR BEAM
 RB = ROOF BEAM
 DB = DECK BEAM

ELECTRICAL LEGEND

⊕	SINGLE RECEPTACLE (DEDICATED)	⊕	EXHAUST FAN 50 CFM MINIMUM (100 CFM @ KITCHEN)
⊕	ARC-FAULT (AFCI) DUPLEX RECEPTACLE	⊕	EXHAUST FAN LIGHT COMBINATION 50 CFM MINIMUM
⊕	SWITCHED RECEPTACLE	⊕	TELEPHONE JACK
⊕	220V RECEPTACLE	⊕	CABLE TV
⊕	RECEPTACLE AT SPECIFIC HEIGHT A.F.F.	⊕	THERMOSTAT
⊕	GROUND FAULT INTERRUPTER RECEPTACLE	⊕	SMOKE ALARM (AFCI PROTECTED)
⊕	"IN-USE" COVERED WEATHER PROOF GROUND FAULT INTERRUPTER RECEPTACLE	⊕	CARBON MONOXIDE DETECTOR (AFCI PROTECTED)
⊕	RECEPTACLE IN CEILING FOR GARAGE DOOR OPENER PRE-WIRE FOR LOW-VOLTAGE SENSORS AND BUTTON	⊕	GAS LINE
⊕	SINGLE POLE SWITCH	⊕	BACK LIT ADDRESS FIXTURE
⊕	THREE WAY SWITCH	⊕	APPROVED FOR WET LOCATION
⊕	FOUR WAY SWITCH	⊕	DOOR CHIME
⊕	DIMMER SWITCH	⊕	NON-FUSED DISCONNECT
⊕	OCCUPANCY SENSOR SWITCH	⊕	ELECTRICAL SERVICE PANEL
⊕	CEILING MOUNT 6000 CFM LOUVERED 30" WHOLE HOUSE ATTIC FAN WITH 2-SPEED SWITCH	⊕	VANITY BAR LIGHT
⊕	WALL MOUNT LED FIXTURE	⊕	4' LED LIGHT
⊕	WALL MOUNTED EXTERIOR LED LIGHT FIXTURE	⊕	FAN LIGHT COMBINATION (AFCI PROTECTED AT BEDROOMS)
⊕	MOTION SENSOR LED FLOOD LIGHTS	⊕	CHANDELIER
⊕	USB CHARGING OUTLET	⊕	RECESSED LED

- 12,000 LUMENS LED HI-BAY LIGHT FIXTURE SUSPENDED FROM (E) ROOF PURLINS (QTY 8)
- NEW 5-FOOT CANDLE ILLUMINATED EXIT SIGN WITH SUPPLEMENTAL LED LIGHTS. HARDWIRED WITH 90-MIN BATTERY BACKUP
- ELECTRIC WATER HEATER PER SHEET P1

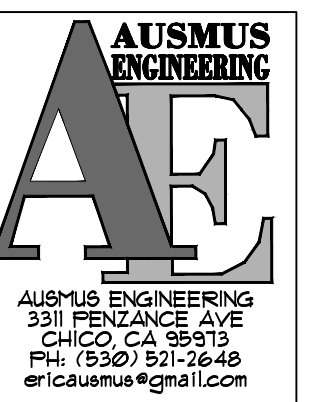


GENERAL NOTES

- USE 3/4" CDX W/ 8d RING SHANKS AT 6/12
- USE DOUBLE 2X TOP PLATE W/ (12) 16d NAILS EACH SIDE OF SPLICE, MIN.

A MEZZANINE PLAN
 A5 SECTION

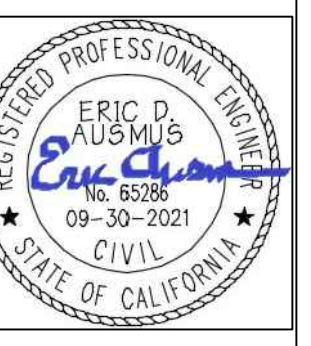
1/4"=1'



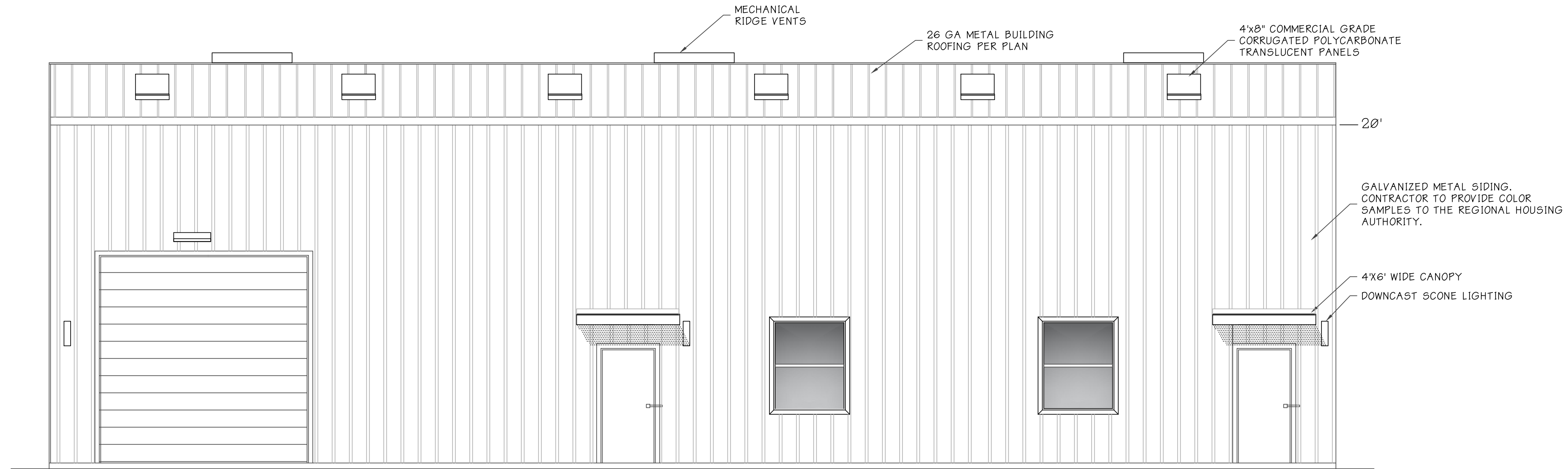
MAINTENANCE BUILDING
 MEZZANINE PLAN

REGIONAL HOUSING AUTHORITY
 384 MILES AVE
 YUBA CITY 95993

REVISION	DATE	DESCRIPTION

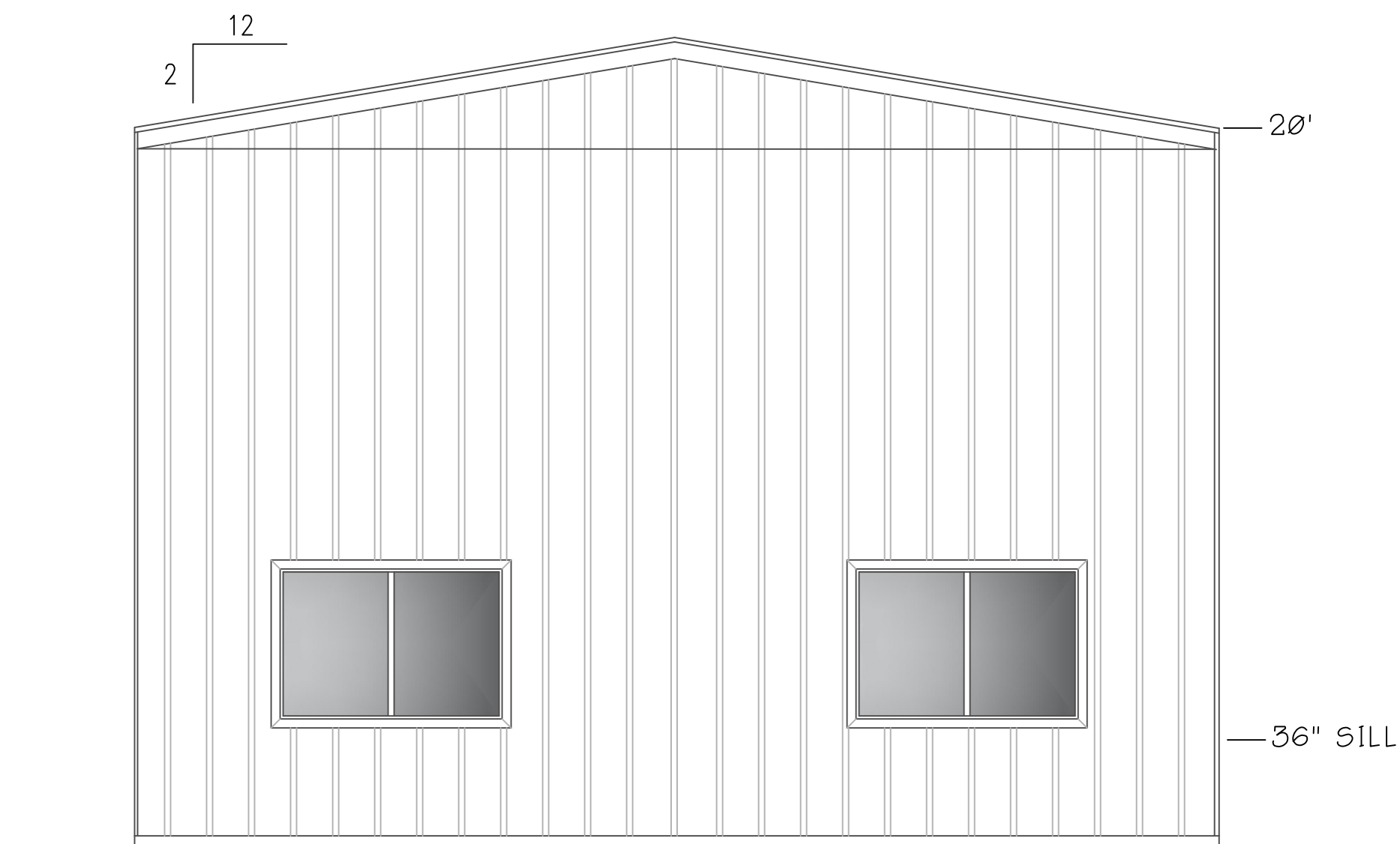


DATE:	OCT 22, 2019
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SCALE:	AS NOTED
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PAGE:	7 OF
SHEET NO.:	A5



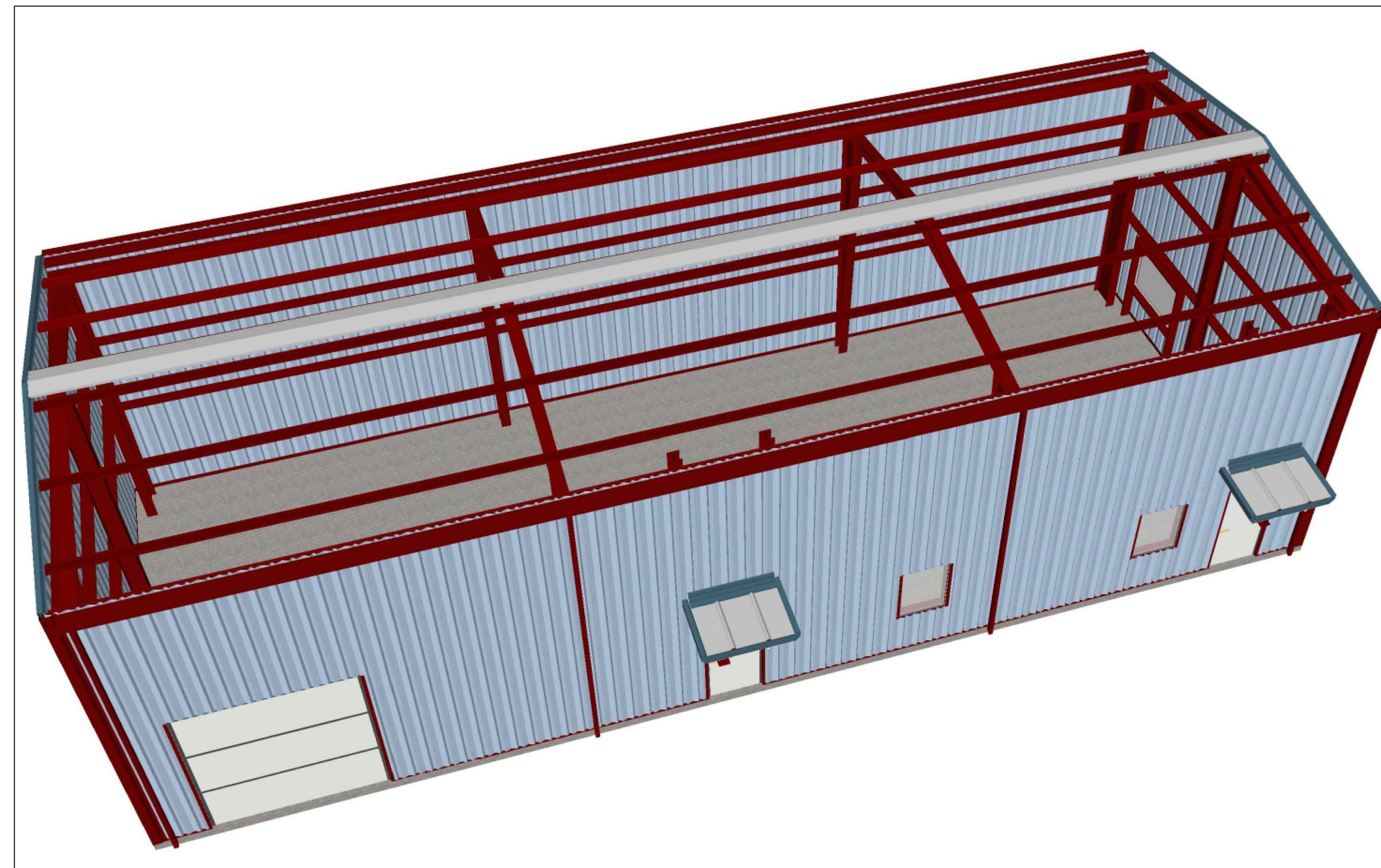
1 FRONT ELEVATION
 A6 ELEVATION 1/4"=1'

NOTE: REAR ELEV SIMILAR WITH NO WINDOWS OR DOORS



2 RIGHT ELEVATION
 A6 ELEVATION 1/4"=1'

NOTE: LEFT ELEV SIMILAR WITH NO WINDOWS OR DOORS



HCI
HCI STEEL BUILDINGS, LLC
 17833 59th Ave NE, Suite C
 Arlington, WA 98223
 360.403.4900 ~ #HCIST8864DE
 "Build it. Just."

Eric Ausmus 28472420
 Yuba City, CA
 ericausmus@gmail.com
 350-242-2646

PO #:
TBD

REVISIONS: June 24, 2019
 Drawn by: ED
 Checked by: ED

DATE OF THE STEEL BUSINESS, LLC

MAINTENANCE BUILDING
 ELEVATIONS

REGIONAL HOUSING AUTHORITY
384 MILES AVE
YUBA CITY 95993

REVISION	DATE	DESCRIPTION
1		



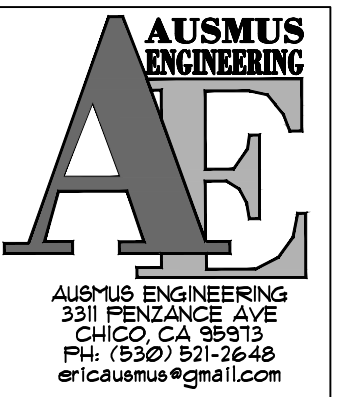
DATE:
 OCT 22, 2019

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PAGE 8 OF

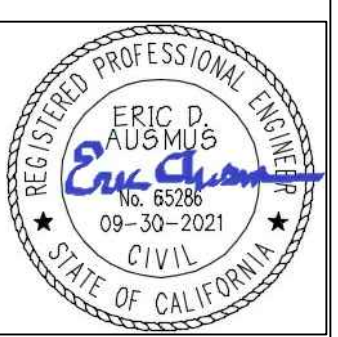
SHEET NO. **A7**



MAINTENANCE BUILDING
 ELECTRICAL & MECHANICAL
 PLAN

REGIONAL HOUSING AUTHORITY
384 MILES AVE
YUBA CITY 95993

REVISION / DATE / DESCRIPTION
 12/19/19 / PLAN CHECK NO. 1



DATE: OCT 22, 2019

DESIGNED BY: EDA
 DRAWN BY: EDA
 CHECKED BY: EDA

SCALE: AS NOTED
 PROJECT: *

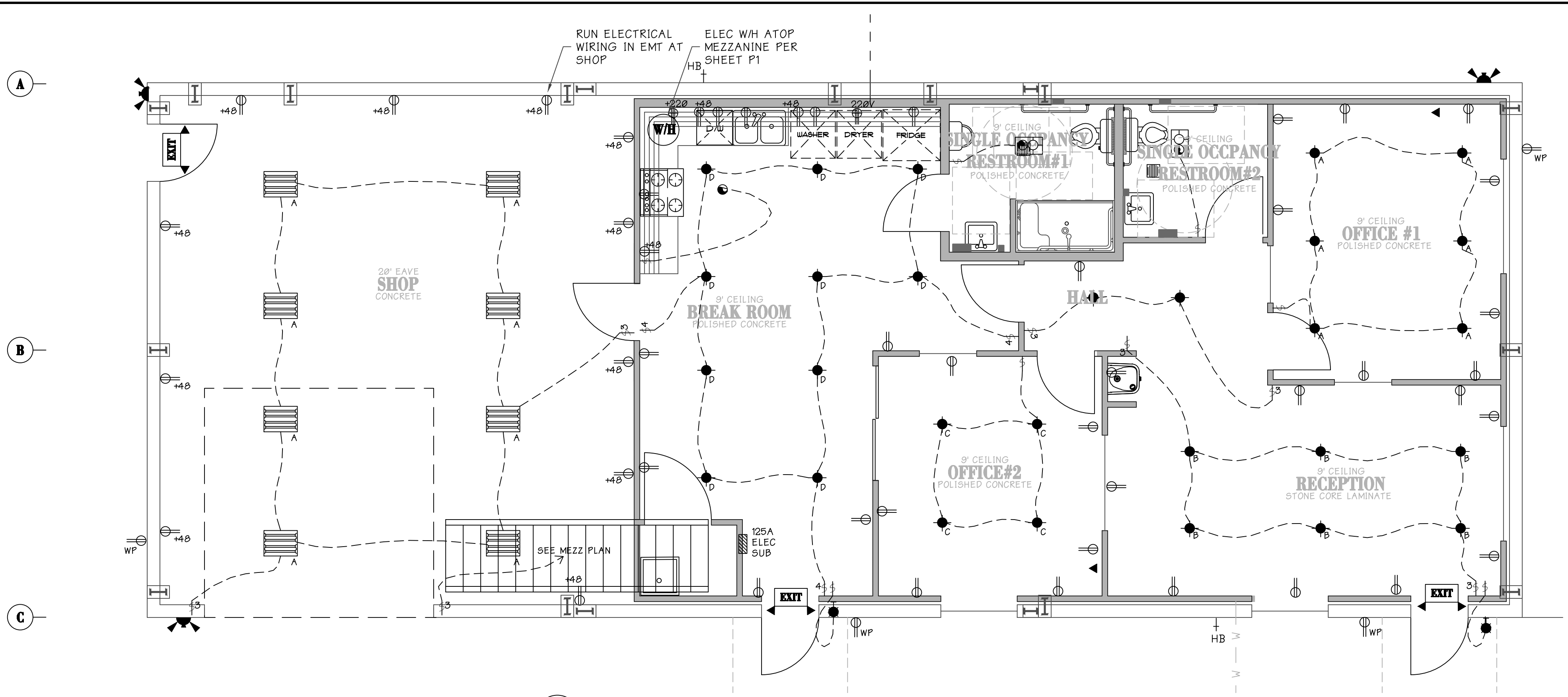
PAGE 9 OF

SHEET NO. **E1**

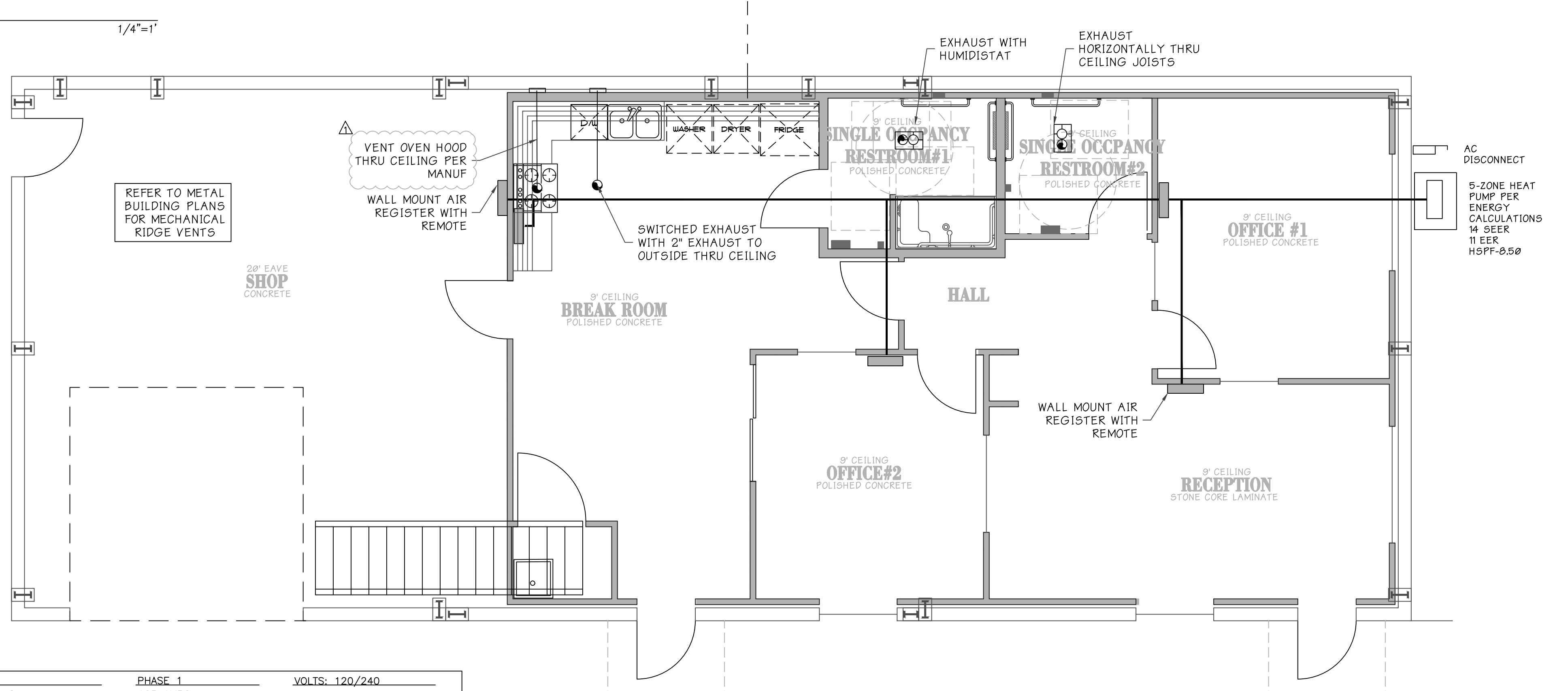
ELECTRICAL LEGEND

⊕ SINGLE RECEPTACLE (DEDICATED)	⊙ EXHAUST FAN 50 CFM MINIMUM (100 CFM @ KITCHEN)
⊕ ARC-FAULT (AFCI) DUPLEX RECEPTACLE	⊙ EXHAUST FAN LIGHT COMBINATION 50 CFM MINIMUM
⊕ SWITCHED RECEPTACLE	⊙ TELEPHONE JACK
⊕ 220V RECEPTACLE	⊙ CABLE TV
⊕ RECEPTACLE AT SPECIFIC HEIGHT A.F.F.	⊙ THERMOSTAT
⊕ "IN-USE" COVERED WEATHER PROOF GROUND FAULT INTERRUPTER RECEPTACLE	⊙ SMOKE ALARM (AFCI PROTECTED)
⊕ RECEPTACLE IN CEILING FOR GARAGE DOOR OPENER PRE-WIRE FOR LOW-VOLTAGE SENSORS AND BUTTON	⊙ CARBON MONOXIDE DETECTOR (AFCI PROTECTED)
⊕ SINGLE POLE SWITCH	⊕ GAS LINE
⊕ THREE WAY SWITCH	⊕ BACK LIT ADDRESS FIXTURE
⊕ FOUR WAY SWITCH	⊕ APPROVED FOR WET LOCATION
⊕ DIMMER SWITCH	⊕ NON-FUSED DISCONNECT
⊕ OCCUPANCY SENSOR SWITCH	⊕ ELECTRICAL SERVICE PANEL
⊕ CEILING MOUNT 6000 CFM LOWERED 30" WHOLE HOUSE ATTIC FAN WITH 2-SPEED SWITCH	⊕ VANITY BAR LIGHT
⊕ WALL MOUNT LED FIXTURE	⊕ 4' LED LIGHT
⊕ WALL MOUNTED EXTERIOR LED LIGHT FIXTURE	⊕ FAN LIGHT COMBINATION (AFCI PROTECTED AT BEDROOMS)
⊕ MOTION SENSOR LED FLOOD LIGHTS	⊕ CHANDELIER
⊕ USB CHARGING OUTLET	⊕ RECESSED LED

- 12,000 LUMENS LED HI-BAY LIGHT FIXTURE SUSPENDED FROM (E) ROOF PURLINS (QTY 8)
- NEW 5-FOOT CANDLE ILLUMINATED EXIT SIGN WITH SUPPLEMENTAL LED LIGHTS. HARDWIRED WITH 90-MIN BATTERY BACKUP
- ELECTRIC WATER HEATER PER SHEET P1



1
E1
 ELECTRICAL PLAN
 PLAN
 1/4"=1'



1
M1
 MECHANICAL PLAN
 PLAN
 1/4"=1'

ELECTRICAL PLAN GENERAL NOTES

1. ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS (I.E., RECEPTACLES, LIGHTS, SMOKE DETECTORS, ETC.) INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER, INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. C.E.C. ARTICLE 210.12(A). ROOMS NOT REQUIRING AFCI ARE BATHROOMS, GARAGES AND UNFINISHED BASEMENTS.
2. ALL 125V 1-PHASE 15 & 20 AMP RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL BE GFCI
 - 2.11. BATHROOMS
 - 2.12. GARAGES
 - 2.13. OUTDOORS
 - 2.14. CRAWL SPACES - AT OR BELOW GRADE LEVEL
 - 2.15. UNFINISHED BASEMENTS
- 2.16. KITCHENS, WHERE THE RECEPTACLES ARE INSTALLED TO SERVE THE COUNTERTOP SURFACE
- 2.17. SINKS - WHERE THE RECEPTACLES ARE INSTALLED WITHIN 6' OF THE OUTSIDE EDGE OF A SINK
- 2.18. BATHTUBS OR SHOWER STALL - WHERE RECEPTACLES ARE INSTALLED WITHIN 6' OF THE OUTSIDE EDGE OF THE BATHTUB OR SHOWER STALL
- 2.19. LAUNDRY AREAS
 - 2.19.1. DISHWASHERS
3. INSULATED CONDUCTORS SHALL BE LISTED WHEN USED IN RACEWAYS (CONDUITS) FOR UNDERGROUND OR IN WET LOCATIONS. NON-METALLIC SHEATHED CABLE SHALL NOT BE USED IN DAMP OR WET LOCATIONS. FLEXIBLE METAL CONDUIT SHALL NOT BE USED IN WET LOCATIONS.
4. CABLES BURIED IN OR UNDER CONCRETE SHALL BE IN A RACEWAY RATED FOR WET LOCATIONS INCLUDING THE INSIDE OF A BUILDING PER NEC 300.5(C)
5. ALL BOXES INSTALLED FOR THE SUPPORT OF LUMINAIRES & CEILING FANS MUST BE LISTED FOR THE ACTUAL WEIGHT OF THE LUMINAIRE OR AT LEAST 50 LBS., WHICHEVER IS GREATER.
6. ALL 125V 15, 20 & 30 AMP CIRCUITS USED FOR TEMPORARY WIRING DURING CONSTRUCTION, REMODELING, MAINTENANCE, REPAIR OR DEMOLITION SHALL BE GFCI PROTECTED, WHETHER THE POWER IS SUPPLIED THROUGH THE UTILITY SERVICE OR BY AN ON-SITE GENERATOR.
7. PROVIDE TWO 20A SMALL APPLIANCE BRANCH CIRCUITS FOR KITCHENS, PANTRY, BREAKFAST ROOMS, DINING ROOM OR SIMILAR AREAS. RECEPTACLES SHALL BE LOCATED AT WALL AND/OR COUNTERTOP. THESE PLUGS SHALL NOT SERVE OUTSIDE PLUGS, RANGE HOOD, DISPOSAL, DISHWASHERS OR MICROWAVES BUT MAY INCLUDE THE REFRIGERATOR.
8. THE LOCATION OF PHONE, CAT 5 AND TV JACKS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION
9. PROVIDE A 20A DEDICATED BRANCH CIRCUIT FOR EACH BATHROOM AND LAUNDRY ROOM RECEPTACLES. (EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED) CEC ARTICLES 210.11(C)(3) AND 210.52
10. ALL LUMINAIRES SHALL BE LED. LUMINAIRES THAT ARE RECESSED INTO INSULATED CEILINGS ARE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) AND ARE CERTIFIED AIR TIGHT TO ASTM E203 AND LABELED AS AIR TIGHT (AT) TO LESS THAN 2.0 CFM AT 75 PASCALS.
11. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND
 - A. CONTROLLED BY A PHOTOCELL AND MOTION SENSOR, OR
 - B. PHOTO CONTROL, OR
 - ASTRONOMICAL TIME CLOCK, OR
 - ENERGY MANAGEMENT CONTROL SYSTEMS
 EXCEPTION: (LIGHTING AROUND SWIMMING POOLS/WATER FEATURES OR OTHER ARTICLE 680 LOCATIONS)
12. ALL LIGHTING INSTALLED IN BATHROOMS, GARAGES, UTILITY ROOMS AND LAUNDRY ROOMS SHALL BE CONTROLLED BY A VACANCY SENSOR.
13. TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGERS, A LISTED RACEWAY SHALL BE INSTALLED TO ACCOMMODATE A DEDICATED 200/240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1" INSIDE DIAMETER). THE SERVICE PANEL AND OR SUBPANEL SHALL PROVIDE A CAPACITY TO INSTALL A 40A MIN DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE RACEWAY TERMINATION LOCATION SHALL BE VISIBLY MARKED AS EV CAPABLE.
14. DISHWASHERS AND DISPOSAL SHALL BE ON SEPARATE CIRCUITS PER C.E.C. 210.20A C.E.C 210
15. INDIVIDUAL KITCHEN COUNTERS >12" WIDTH REQUIRES AN OUTLET. NO POINT ALONG THE COUNTERTOP IS >24" FROM A RECEPTACLE. RECEPTACLES SHALL BE LOCATED NO MORE THAN 20" ABOVE THE COUNTERTOP AND MAY NOT BE INSTALLED FACE UP POSITION IN THE COUNTER.
16. GARAGE OUTLETS SHALL BE LOCATED A MINIMUM OF 10" ABOVE FINISHED FLOOR
17. ALL NON-LOCKING TYPE 125V, 15 & 20 AMP OUTLETS IN A DWELLING UNIT SHALL BE TAMPER-RESISTANT PER C.E.C. ARTICLE 406.12(A)
18. ALL EXTERIOR OUTLETS SHALL BE GFCI AND WATERPROOF
19. PROVIDE A GFCI/WP OUTLET WITHIN 3 FEET OF WATER HEATER
20. LUMINAIRES LOCATED IN WET LOCATIONS SHALL BE MARKED "SUITABLE FOR WET LOCATIONS" AND ALL LUMINAIRES LOCATED IN DAMP LOCATIONS SHALL BE MARKED "SUITABLE FOR DAMP LOCATIONS"
21. SMOKE AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND EQUIPPED WITH A BATTERY BACKUP. EACH SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL CIRCUIT

SUB PANEL		PHASE 1		PHASE 2		VOLTS: 120/240	
TYPE: NEMA-1		125 AMPS		MOUNTING: FLUSH WALL		A.I.C.	
LOCATION: BREAK ROOM							
AMPS	POLE	ITEM-LOCATION	CIR. WATTS	MISC.	L.T'S	CIR. WATTS	ITEM-LOCATION
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3							
4							
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42							
PHASE TOTALS				BRANCH BREAKER A.I.C. AMPS:			
TOTAL LOAD				WATTS			

DESIGN-BUILD ELECTRICAL PLAN
 AWARDED CONTRACTOR SHALL PROCURE CALIFORNIA LICENSED ELECTRICAL CONTRACTOR AND SUBMIT PLANS TO THE CITY OF YUBA CITY FOR APPROVAL IN CONFORMANCE WITH CALIFORNIA BUSINESS AND PROFESSIONS CODE 6737.3.

DESIGN-BUILD CONTRACTOR ELECTRICAL SYSTEM DESIGNED BY

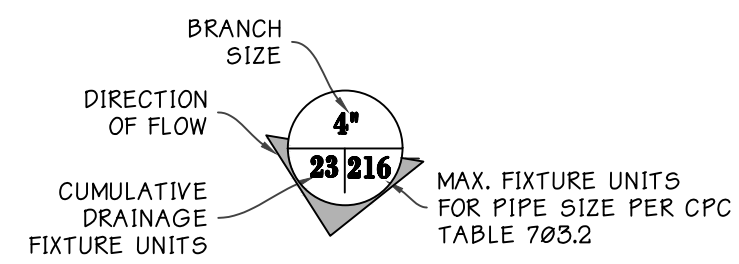
COMPANY NAME: _____ CA LICENSE NO. _____

PRINT NAME: _____ TELEPHONE: _____

SIGN NAME: _____ DATE: _____

ALL NECESSARY REVISIONS AND ADDITIONS TO THIS PLAN MAY BE EMAILED TO AUSMUS ENGINEERING

SEWER LEGEND



- S — S — NEW ABS SEWER PIPE. SEE PLAN FOR SIZE
- ⬇️ ABS VENT THRU ROOF W/ 10' SEPARATION FROM AIR INTAKE. SEE FIXTURE BRANCH SCHEDULE FOR SIZE
- ⊙ 2" FLOOR DRAIN & TRAP

SEWER GENERAL NOTES

LAVATORY SHALL BE EQUIPPED WITH CONTROLS TO LIMIT THE OUTLET TEMPERATURE TO 110 DEGREES F.

ALL PLUMBING VENTS SHALL BE 10' AWAY FROM ALL HVAC OUTSIDE AIR INTAKES UNLESS THE VENT OUTLET IS 3' ABOVE THE OUTSIDE AIR INTAKE PER SECTION 806.6.1, CMC.

ALL SANITARY WASTE PIPING SHALL SLOPE AT 1/4" PER FOOT MINIMUM PER CPC SECTION 700.0.

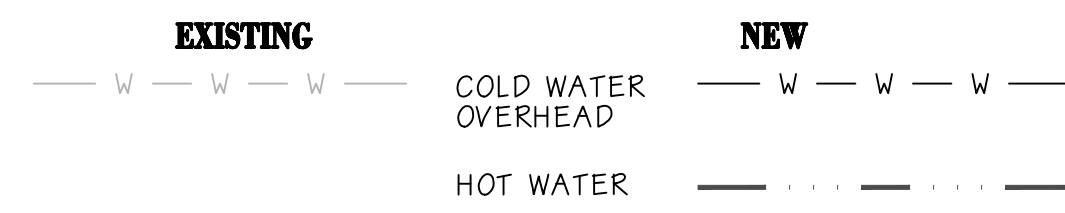
A PAN SHALL BE PROVIDED FOR OVERFLOW OF CONDENSATION FROM COOLING COILS PER SECTION 310.2, CMC TO DRAIN INTO LAVATORY TAILPIECE OR TRAP ON FLOOR DRAIN.

PROVIDE WH T&P RELIEF DRAIN TO EXTERIOR. TERMINATE IN A DOWNWARD DIRECTION 6-24" ABOVE GRADE.

FIXTURE BRANCH SCHEDULE

DESCRIPTION	QTY	PIPE SIZES TO FIXTURES (INCHES)				REMARKS
		DW	V	CW	HW	
FLOOR MOUNTED WATER CLOSET	2	3	2	1	-	1/2 GPF MAX PER GREEN CODE
LAVATORY	2	1-1/2"	1-1/2"	1/2	1/2	SEE FIXTURE DETAIL
WATER HEATER	1	-	-	3/4	3/4	RHEEM XE42M106ST45UI 40 GAL. ELECTRIC 240V 4500 WATT
KITCHEN SINK	1	1-1/2"	1-1/2"	1/2	1/2	FLORESTONE 6R-1 SINK IN BREAKROOM WITH 10209T DELTA FAUCET
SHOWER	1	2	2	1/2	1/2	SEE FIXTURE DETAIL
URINAL	1	2	2	1/2	-	SEE FIXTURE DETAIL
MOP SINK	1	2	1-1/2"	1/2	1/2	FLORESTONE MODEL MSR-2424 MOLDED MOP SINK WITH MR-371 FAUCET
WASH MACHINE	1	2	1-1/2"	1/2	1/2	LOCALLY SOURCED

WATER SUPPLY LEGEND



WATER SUPPLY GENERAL NOTES

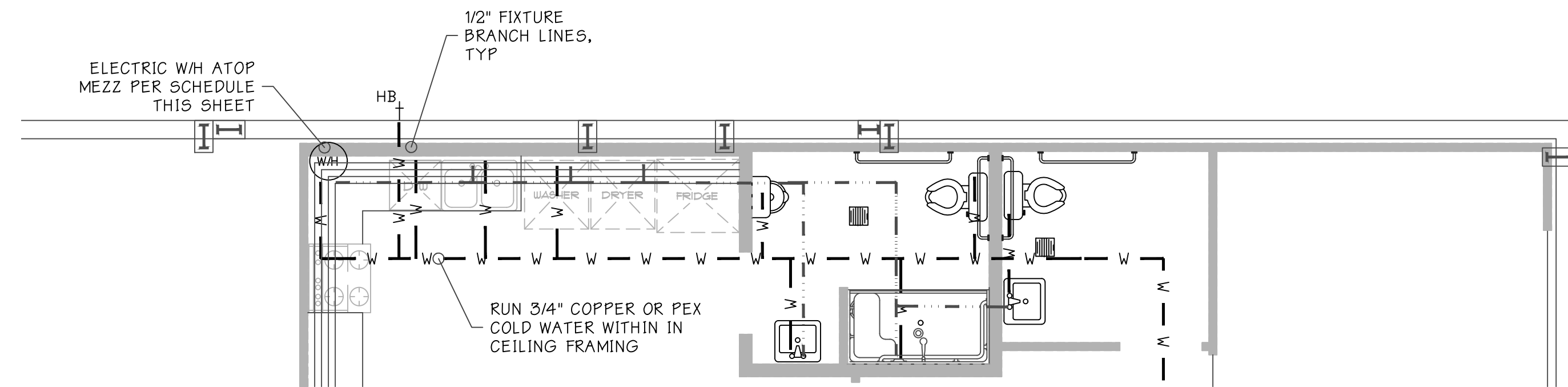
HOT AND COLD WATER: USE TYPE L COPPER TUBING, HARD TEMPER WITH WROUGHT COPPER FITTINGS. CAPPED OR PLUGGED OUTLETS SHALL BE SCHEDULE 40 SCREWED BRASS. PROVIDE FULL SOLDER CUP FITTINGS.

PLUMBING NOTES

- ALL PLUMBING VENTS SHALL BE 10' AWAY FROM ALL HVAC OUTSIDE AIR INTAKES UNLESS THE VENT OUTLET IS 3' ABOVE THE OUTSIDE AIR INTAKE
- ALL SANITARY WASTE PIPING SHALL SLOPE AT 1" PER FOOT MINIMUM
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE
- WATER HEATERS
 - WATER HEATERS SHALL BE INSTALLED ON A RAISED PLATFORM A MINIMUM OF 18" ABOVE GRADE
 - PROVIDE A 120V ELECTRICAL RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE WITH NO OBSTRUCTIONS
 - PROVIDE A CATEGORY III OR IV VENT, OR TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED
 - WATER CLOSETS SHALL BE SET NO CLOSER THAN 15" FROM ITS CENTER TO A SIDE WALL OR OBSTRUCTION, NOR CLOSER THAN 30" CENTER TO CENTER TO A SIMILAR FIXTURE PER CPC 402.5

SEWER ABBREVIATIONS

CO: CLEANOUT
DFU: DRAINAGE FIXTURE UNITS
VTR: VENT THROUGH ROOF

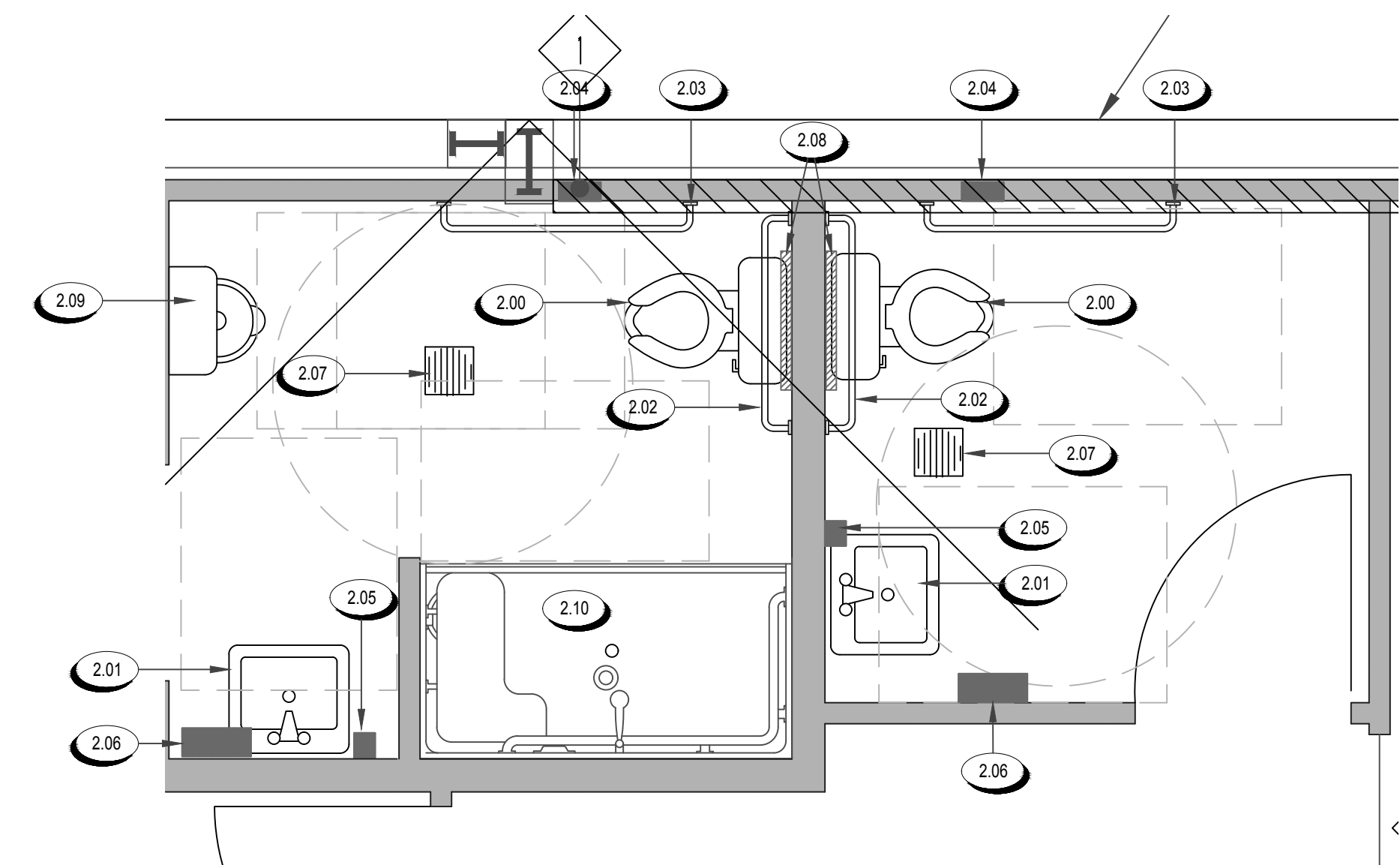


(D) COLD AND HOT WATER SUPPLY DETAIL
P1 PLAN 1/4"=1'

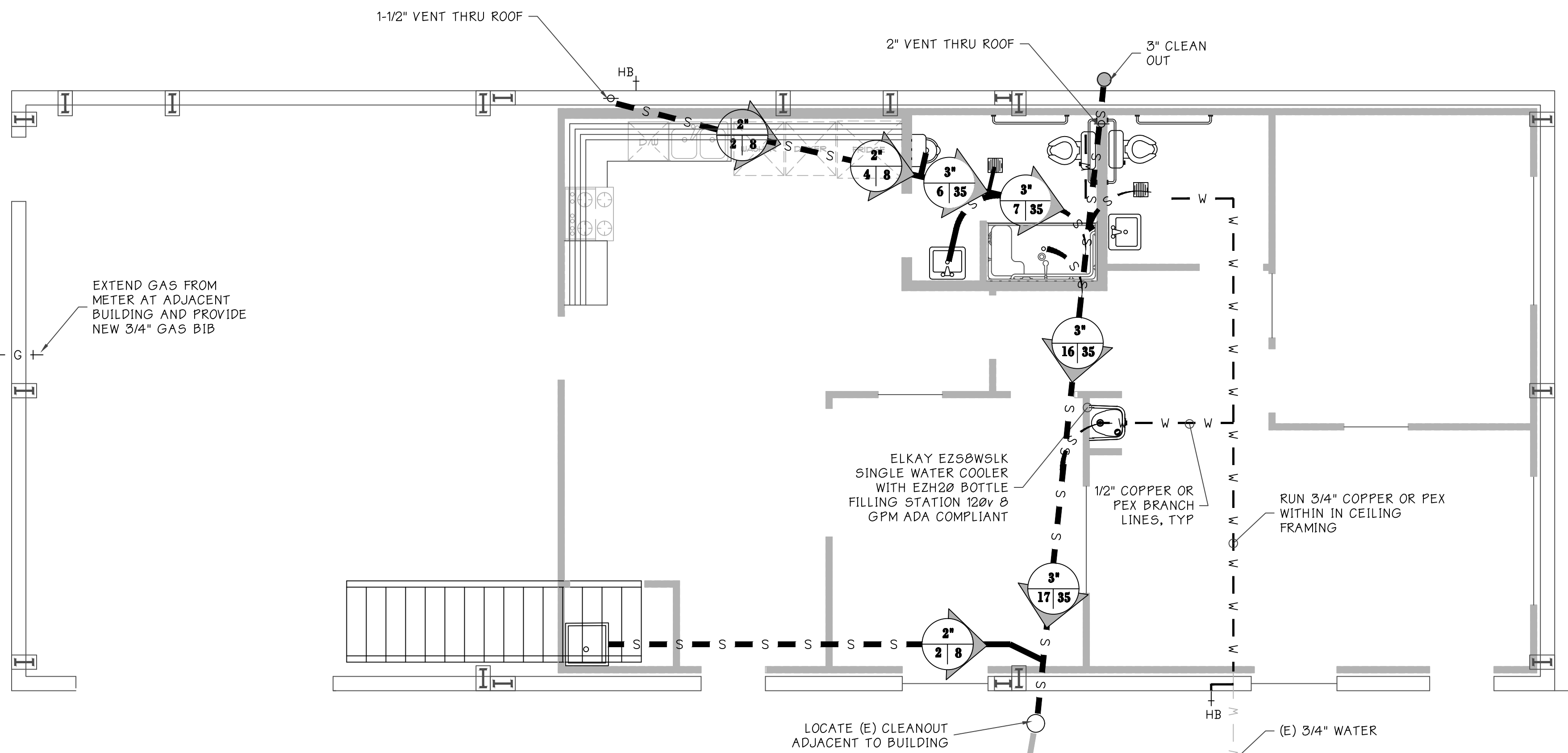
RESTROOM PLUMBING SCHEDULE

KEY	DESCRIPTION	MANUF	MODEL	COLOR	QTY
2.00	FLOOR MOUNT WATER CLOSET 1.0 GPF ⁸	KOHLER	4467-0/4199-0	WHITE	2
2.01	OPEN FRONT SEAT COVER SELF SUSTAIN CHECK HINGE	KOHLER	K-4731-6A	WHITE	2
2.02	WALL HUNG LAVATORY 21-1/4"X18-1/8" VITREOUS CHINA	KOHLER	K-2005-0	WHITE	2
2.03	FAUCET W/ 0.35 GPM AERATOR AND GRID STRAINER	DELTA	523LHDF	5/8	2
2.04	1-1/4" 36" GRAB BAR	BOBRICK	B-5006 X 36"	5/8	2
2.05	1-1/4" 42" GRAB BAR	BOBRICK	B-5006 X 42"	5/8	2
2.06	RECESSED MULTI-ROLL TP DISPENSER	BOBRICK	B-35003	5/8	2
2.07	HEAVY DUTY SURFACE MOUNTED SOAP DISPENSER	BOBRICK	018615	5/8	2
2.08	SURFACE MOUNTED PAPER TOWEL DISPENSER	BOBRICK	B-262	5/8	2
2.09	FLOOR DRAIN 5" SQUARE	SMITH	2005Y	5/8	2
2.10	SURFACE MOUNTED TOILET SEAT COVER DISPENSER	BOBRICK	B-4221	5/8	2
2.11	KOHLER URINAL WALL MOUNT	KOHLER	K-5452-ET-0	WHITE	1
2.12	ACCESSIBLE WALK-IN SHOWER	FLORESTONE	35-62H	WHITE	1

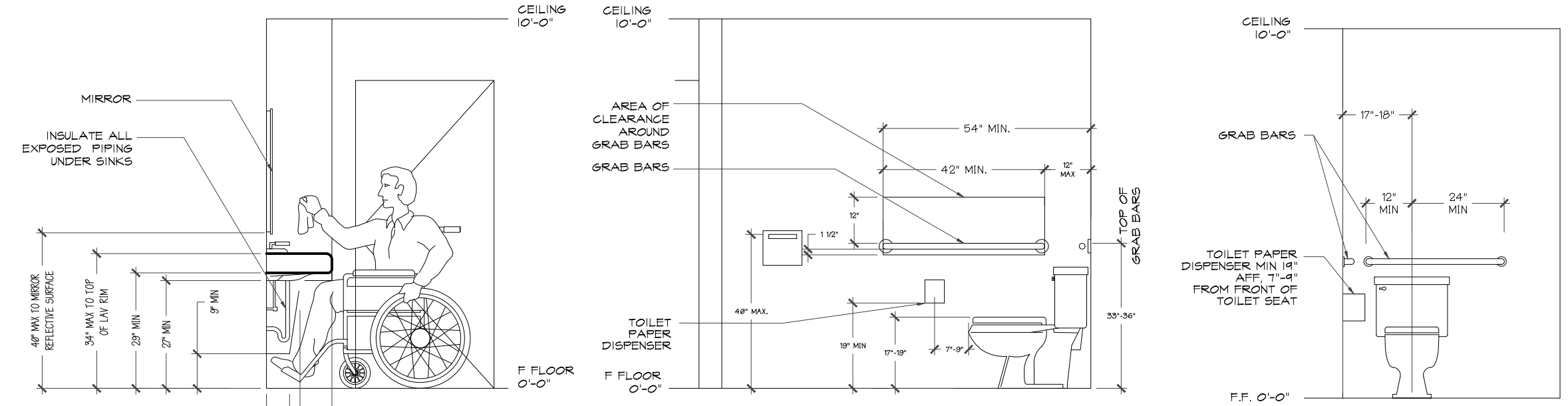
- a. ORDER 1 WITH LEFT HAND TRIP LEVER AND 1 WITH RIGHT HAND TRIP LEVER
- b. FOR BACK TO BACK INSTAL USE ONLY 45 DEGREE WYE
- c. K-0898 P-TRAP



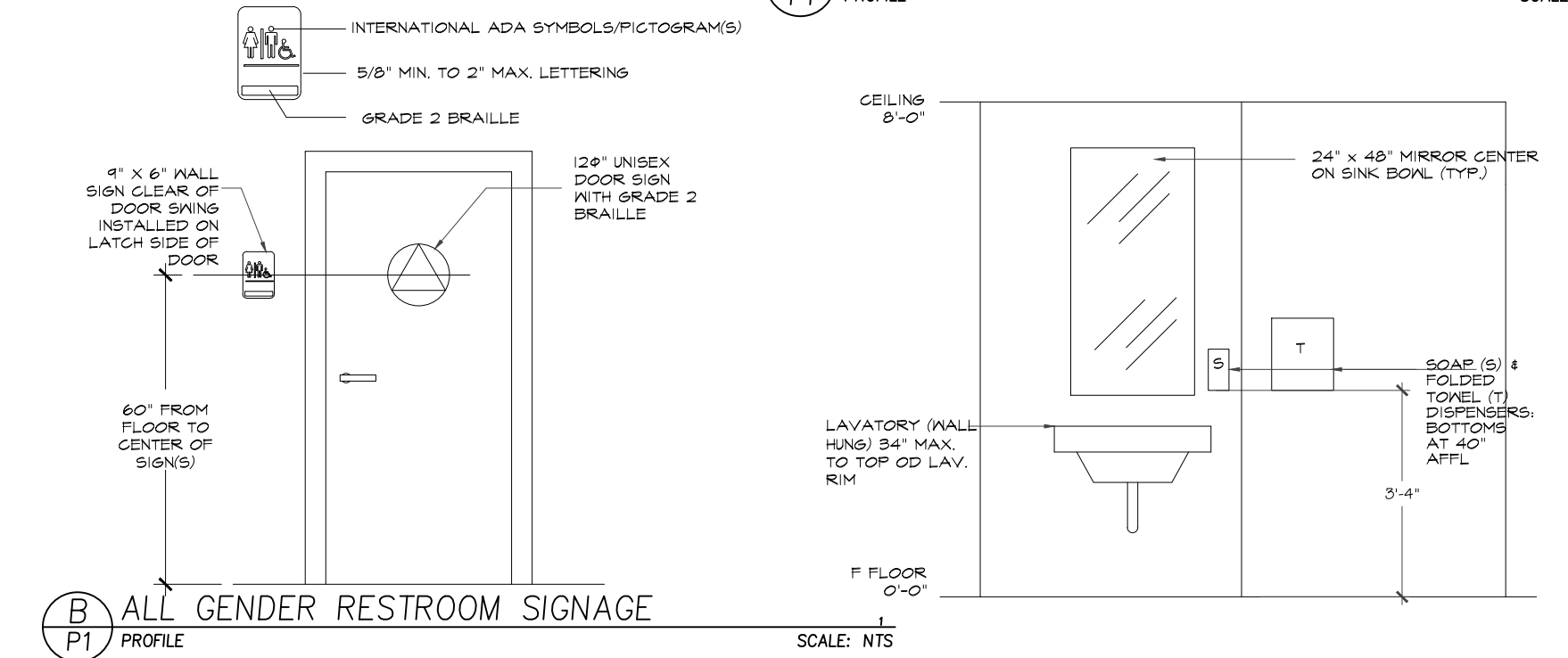
(2) RESTROOM FIXTURE DETAIL
P1 PLAN 1/4"=1'



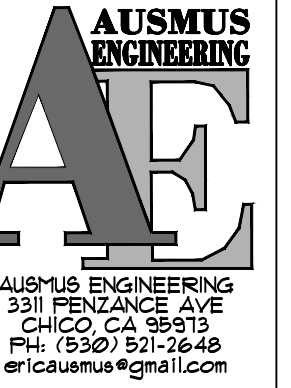
(1) SEWER PLAN
P1 PLAN 1/4"=1'



(A) ACCESSIBLE RESTROOM DETAILS
P1 PROFILE SCALE: NTS



(B) ALL GENDER RESTROOM SIGNAGE
P1 PROFILE SCALE: NTS

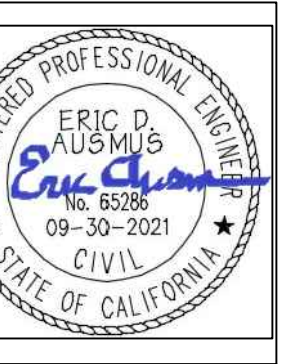


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eric@ausmus.com

MAINTENANCE BUILDING
PLUMBING PLAN

REGIONAL HOUSING AUTHORITY
384 MILES AVE
YUBA CITY 95993

REVISION	DATE	DESCRIPTION
	12/20/19	PLAN CHECK NO. 1



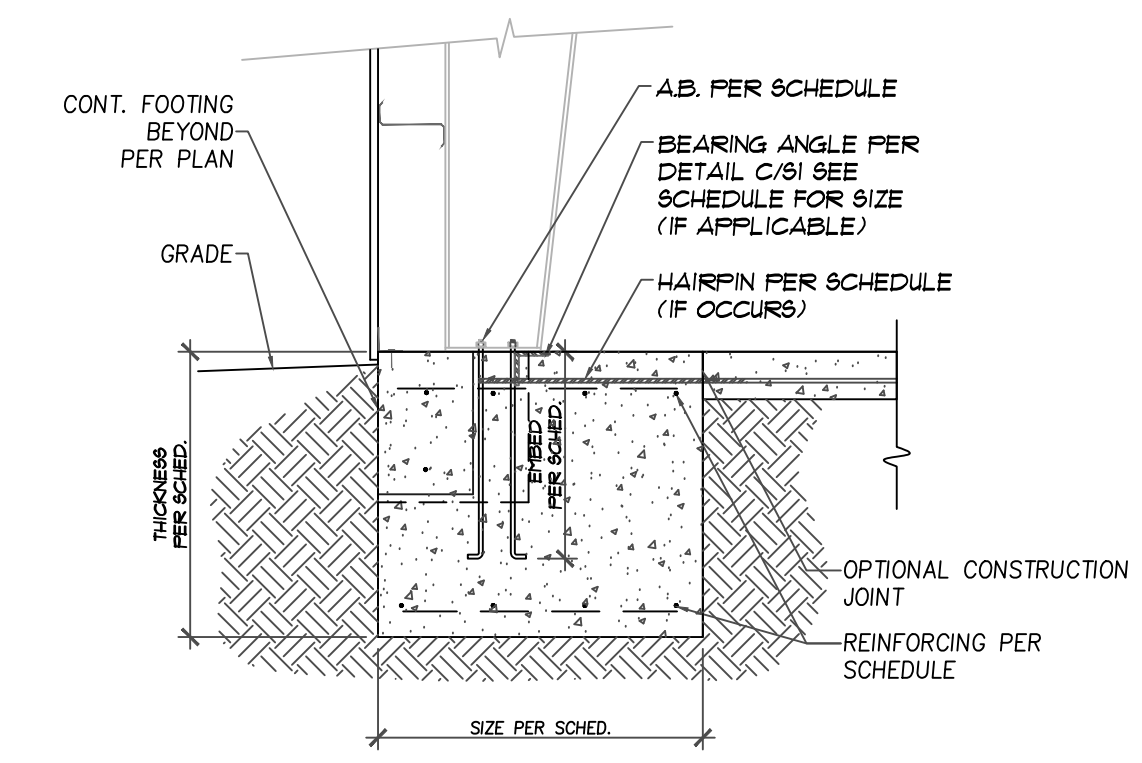
DATE:
OCT 22, 2019

DESIGNED BY: EDA
DRAWN BY: EDA
CHECKED BY: EDA

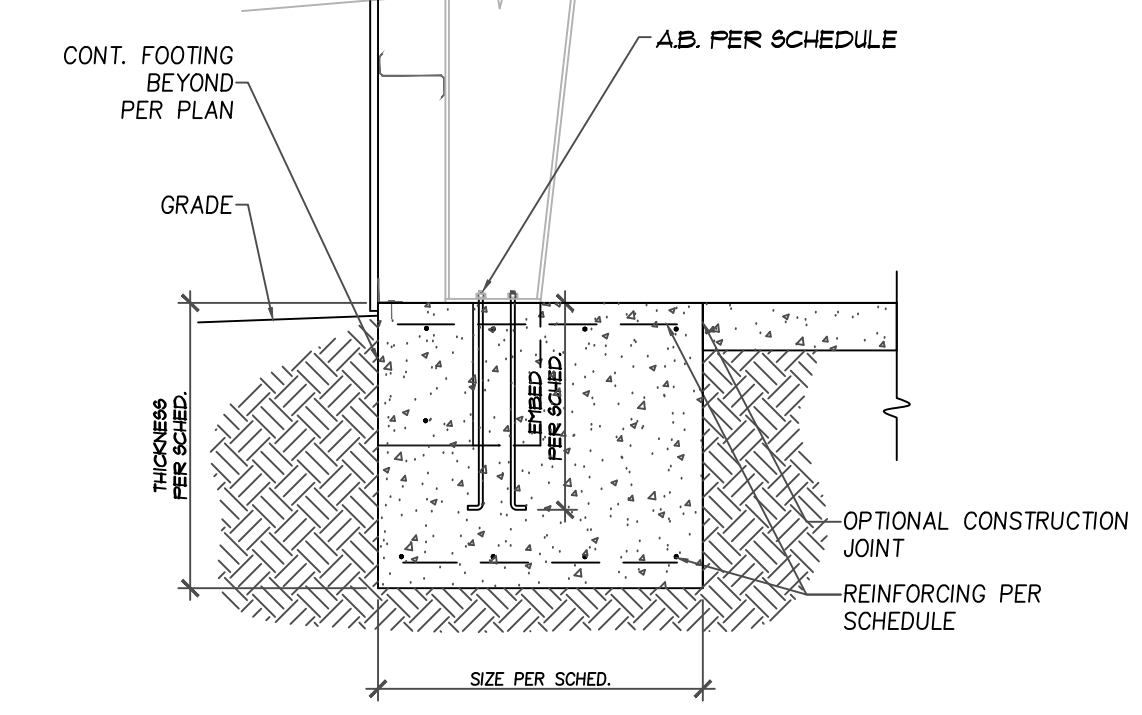
SCALE:
AS NOTED

PROJECT:

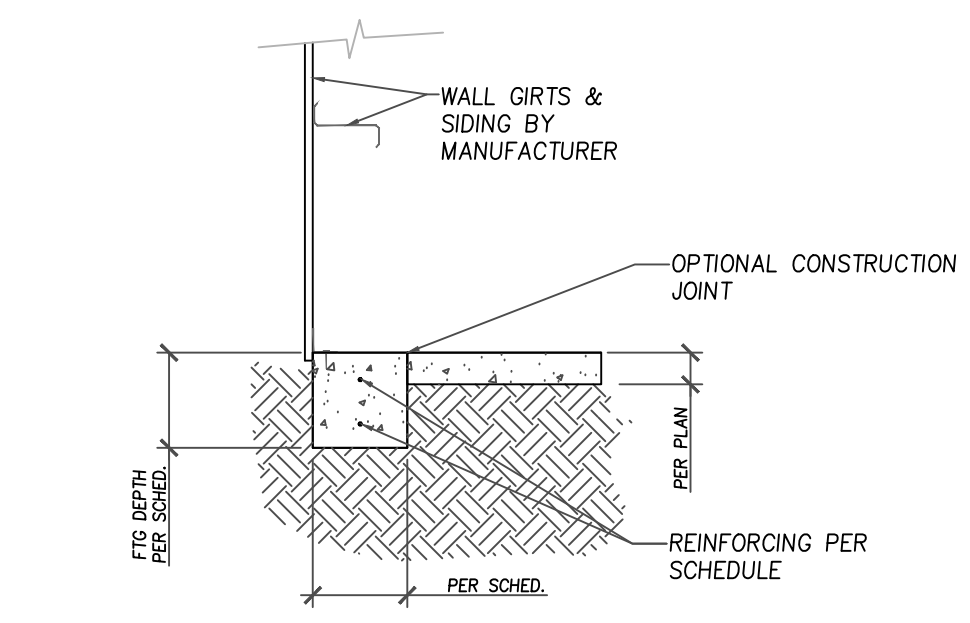
PAGE 11 OF 11
SHEET NO. P1



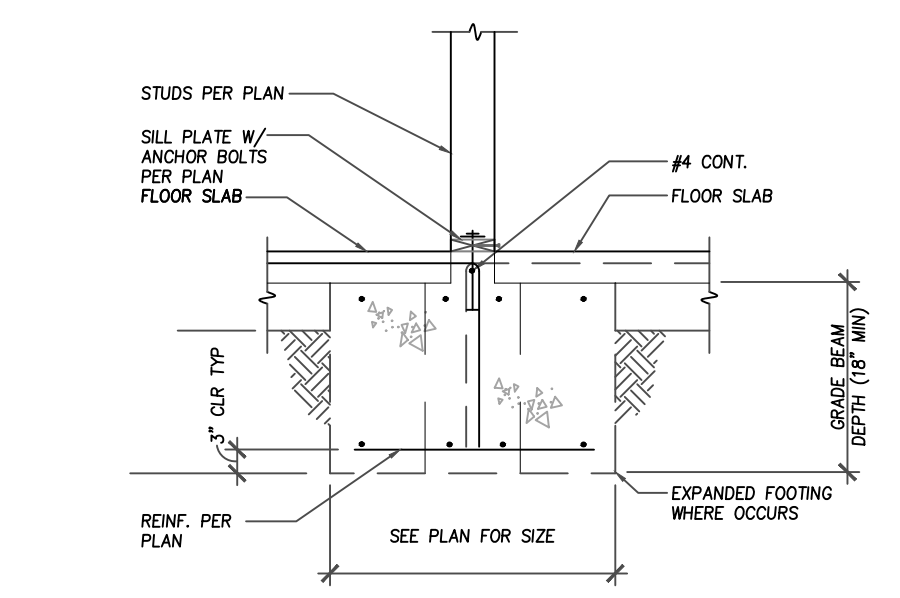
1 EXT. COLUMN AT FRAME LEG FOOTING
 SECTION NOT TO SCALE



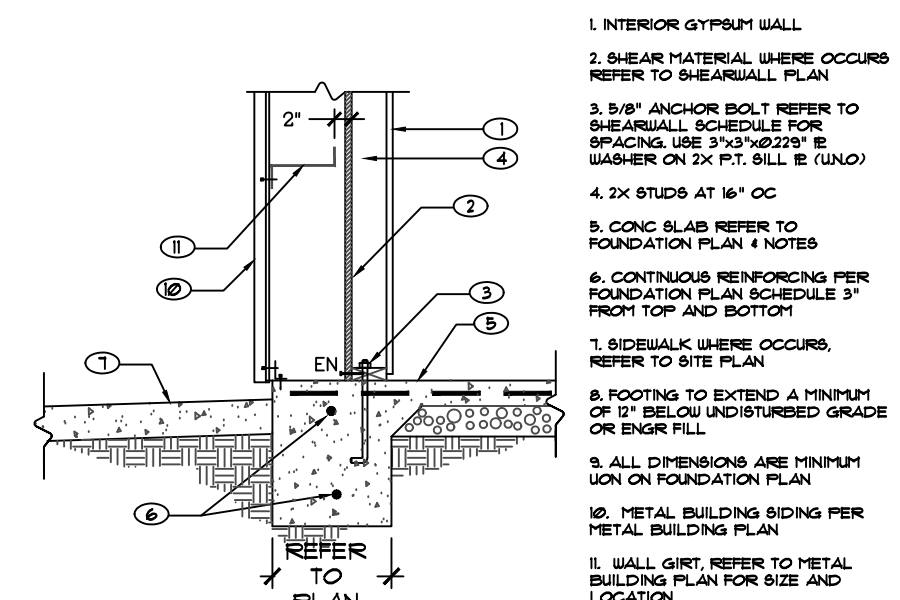
2 EXT. COLUMN AT FRAME LEG FOOTING
 SECTION NOT TO SCALE



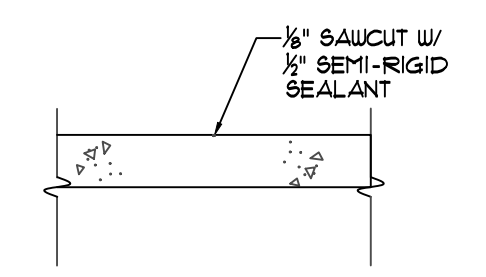
3 CONTINUOUS GRADE BEAM W/ SLAB
 SECTION SCALE: 3/4"=1'-0"



4 INTERIOR BEARING FTG AT WALL
 SECTION NOT TO SCALE

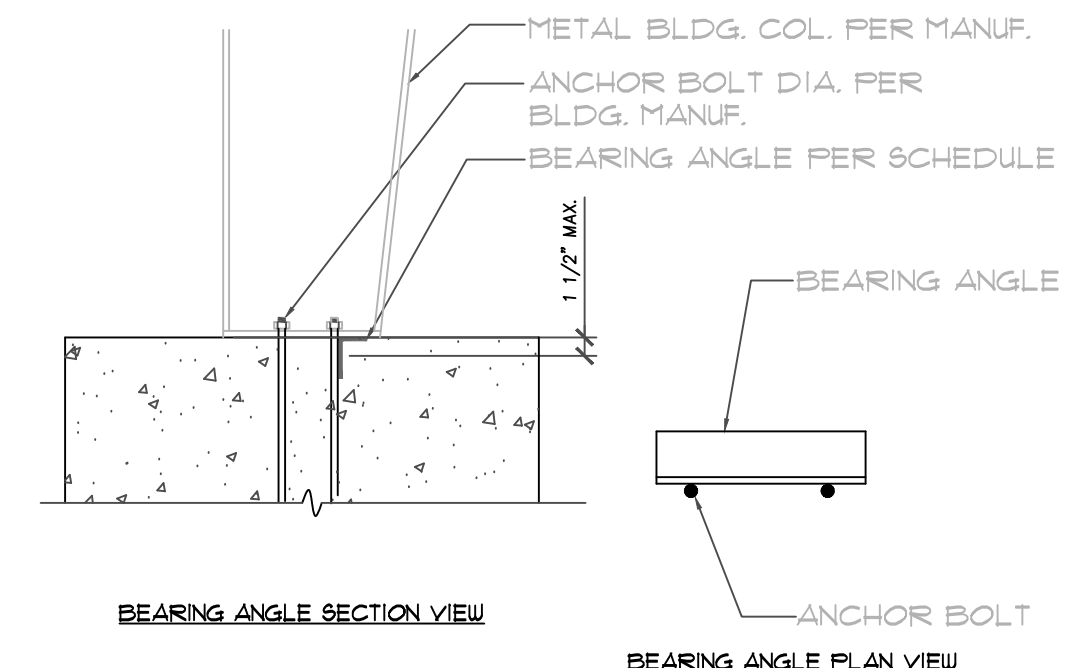


5 PERIMETER SLAB FOOTING AT METAL BUILDING
 SECTION SCALE: NTS

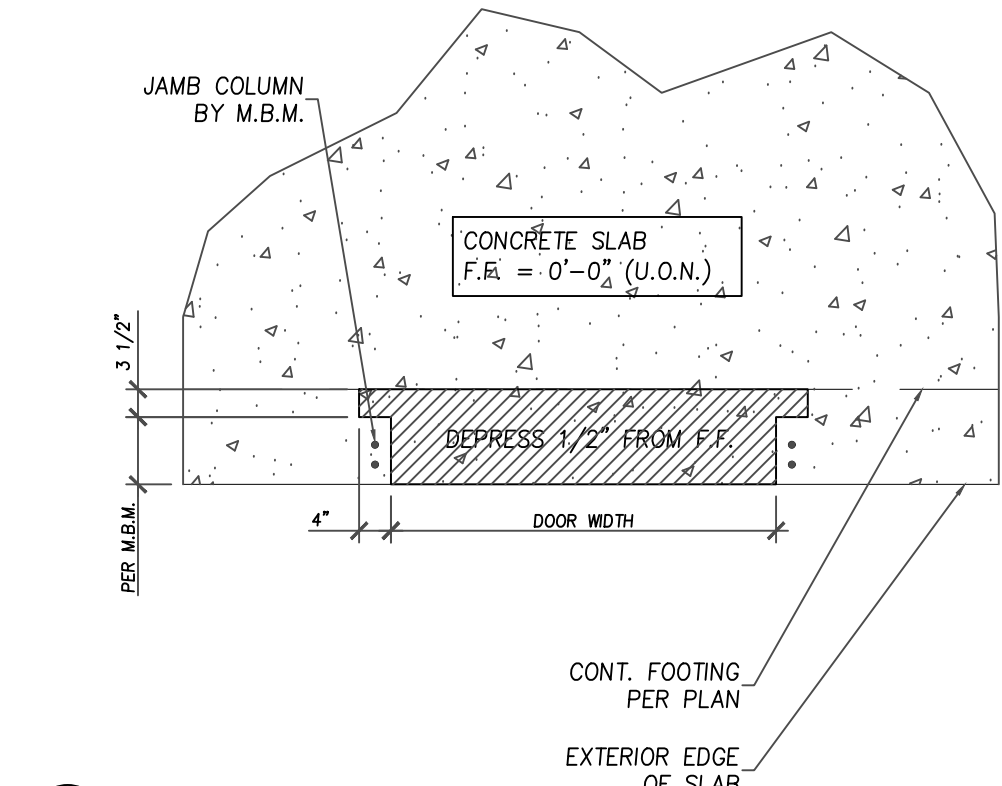


NOTE: CONTROL JOINTS SHALL DIVIDE SLAB INTO AREAS NOT EXCEEDING 250 SQ. FT. AND WITH LENGTH TO WIDTH RATIOS NOT EXCEEDING 3 TO 1. CONTROL JOINT SPACING SHALL NOT EXCEED 12'-6\"/>

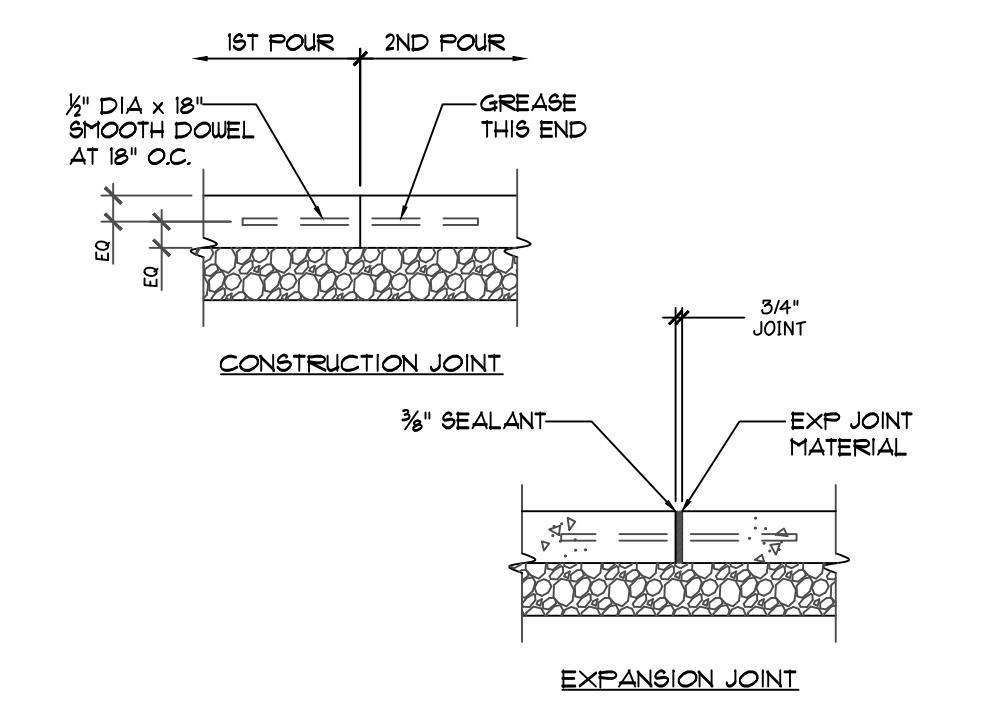
B CONTROL JOINTS
 SECTION SCALE: 3/4"=1'-0"



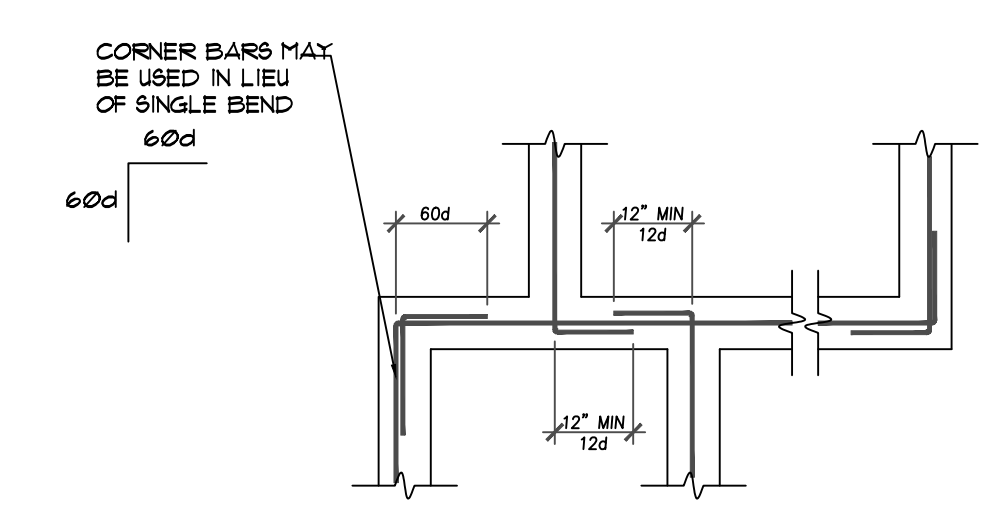
C BEARING ANGLE
 PLAN NOT TO SCALE



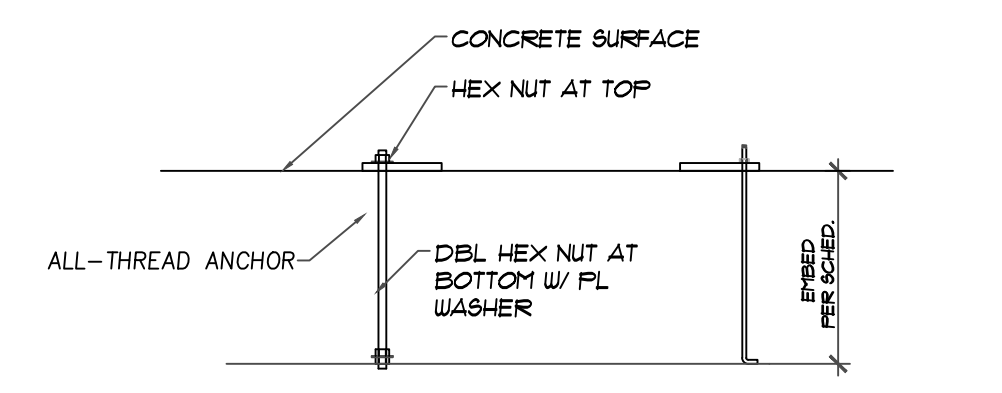
D DOOR THRESHOLD
 PLAN NOT TO SCALE



E SLAB ON GRADE JOINTS
 SECTION SCALE: 3/4"=1'-0"

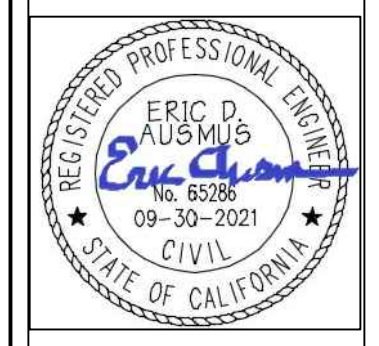


F SINGLE LAYER REINFORCING BARS
 PLAN NOT TO SCALE



G ANCHOR RODS
 SECTION NOT TO SCALE

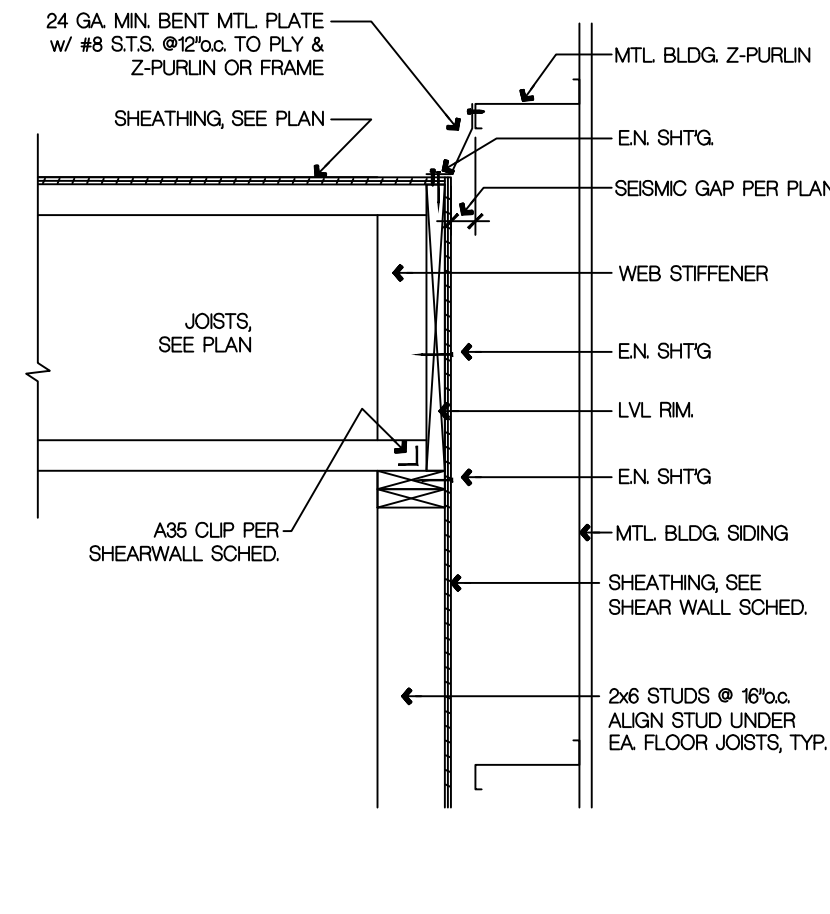
REVISION	DATE	DESCRIPTION



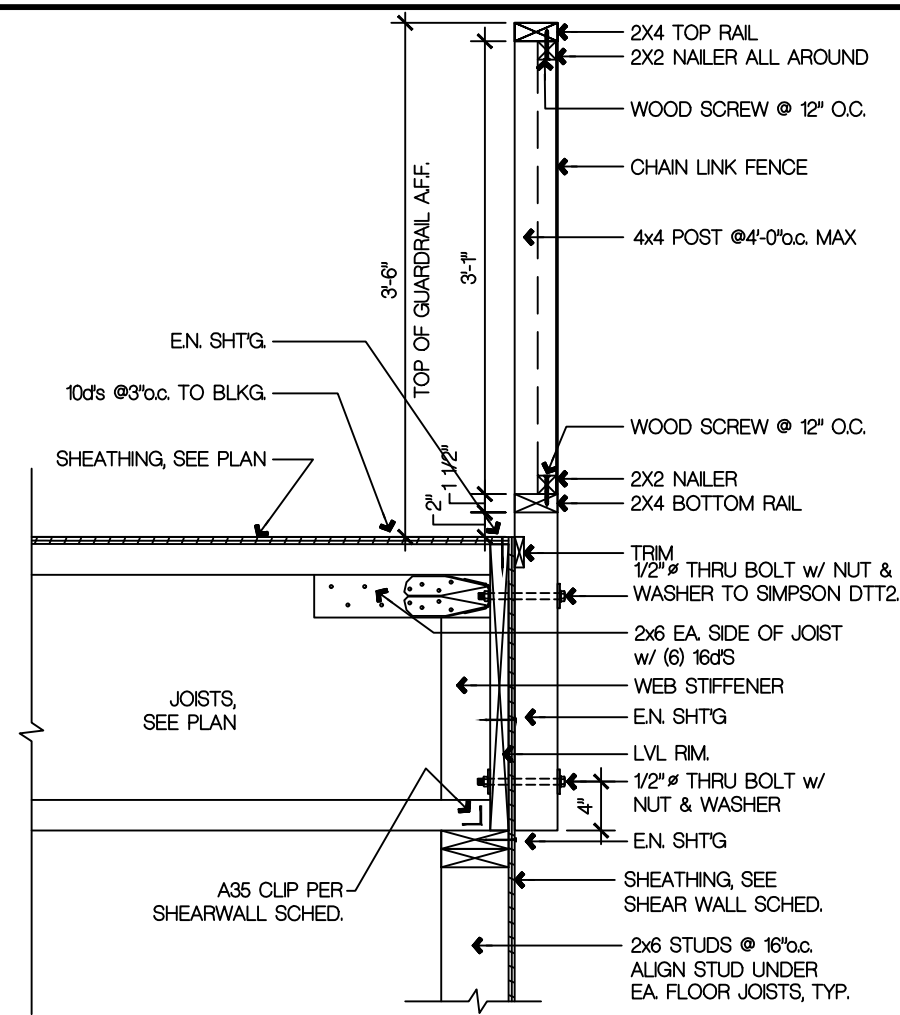
DATE: OCT 22, 2019

DESIGNED BY:	EDA
DRAWN BY:	EDA
CHECKED BY:	EDA

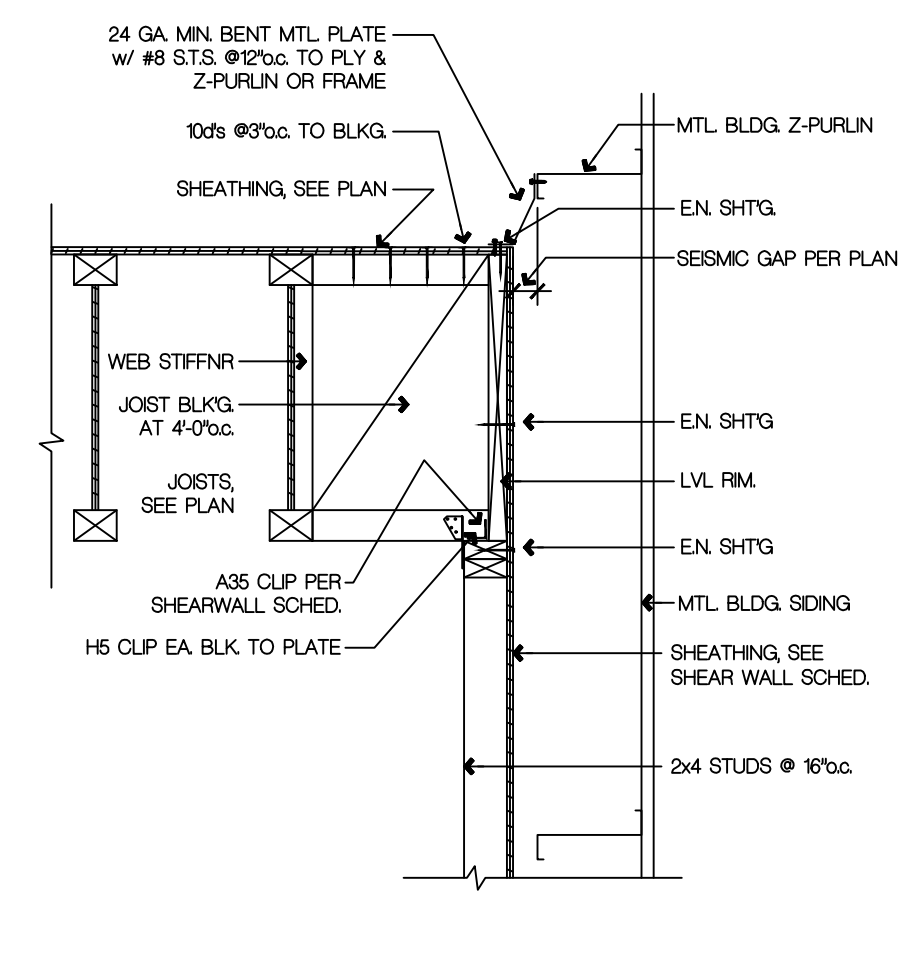
SCALE: AS NOTED
 PROJECT: *
 PAGE 11 OF 11
 SHEET NO. SD1



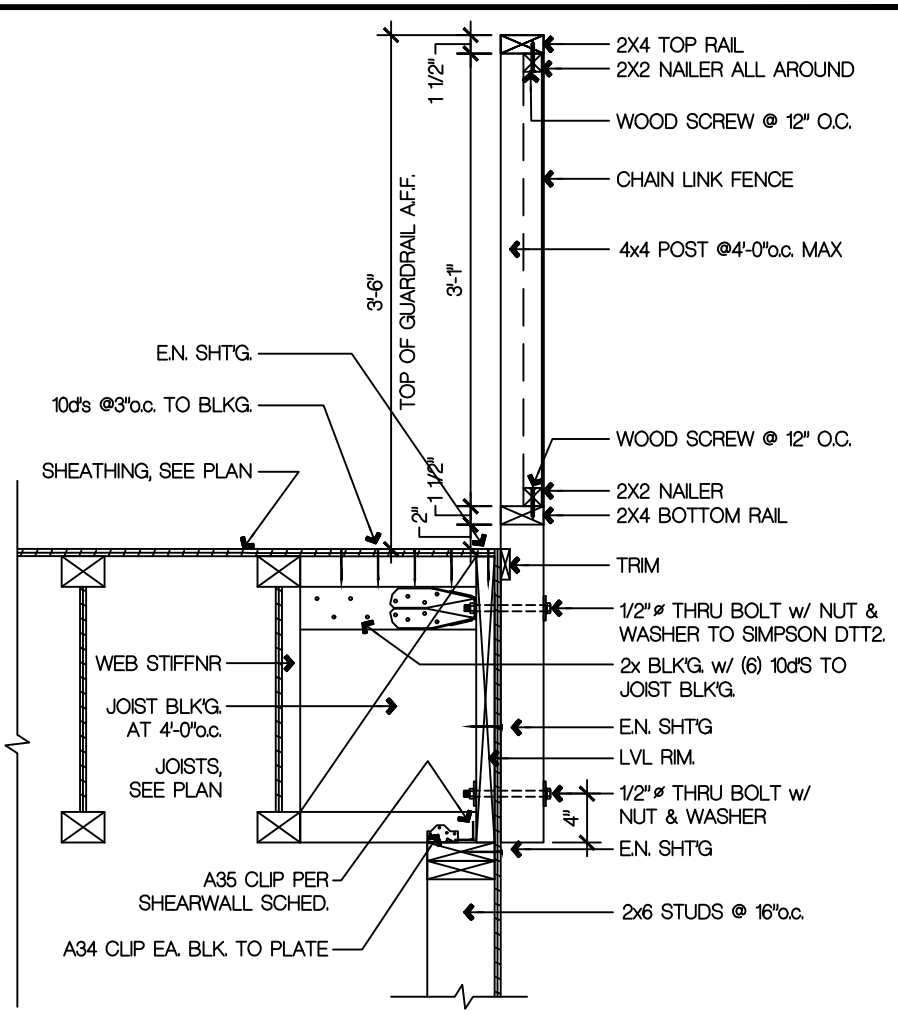
1 MEZZ. WALL SECT. AT MTL BLDG. 1"=1' SD2 DETAIL



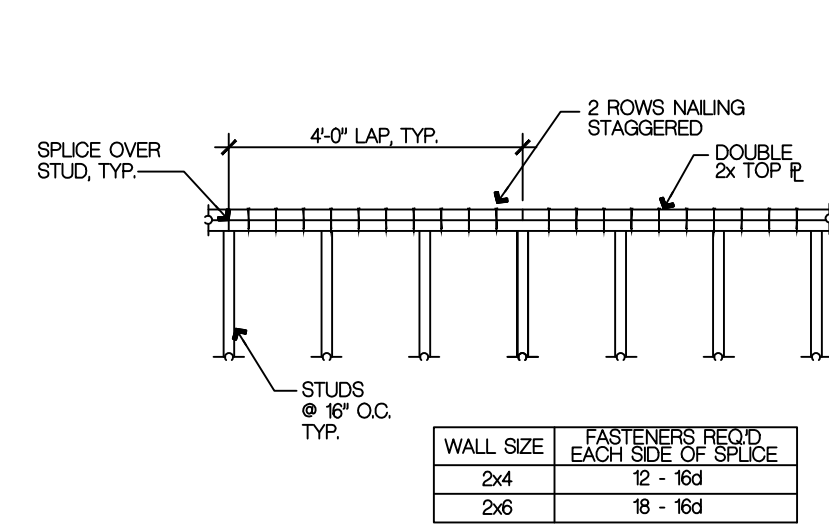
2 MEZZ. EXT. WALL SECTION 1"=1' SD2 DETAIL



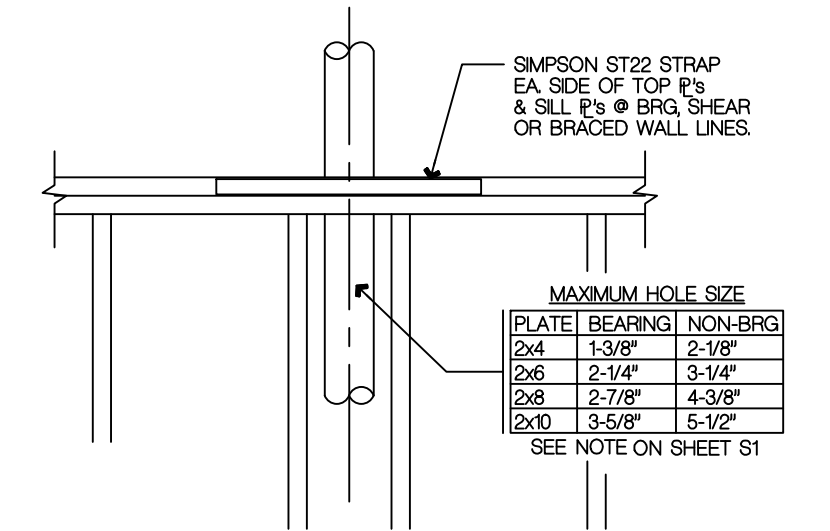
3 MEZZ. WALL SECT. AT MTL BLDG. 1"=1' SD2 DETAIL



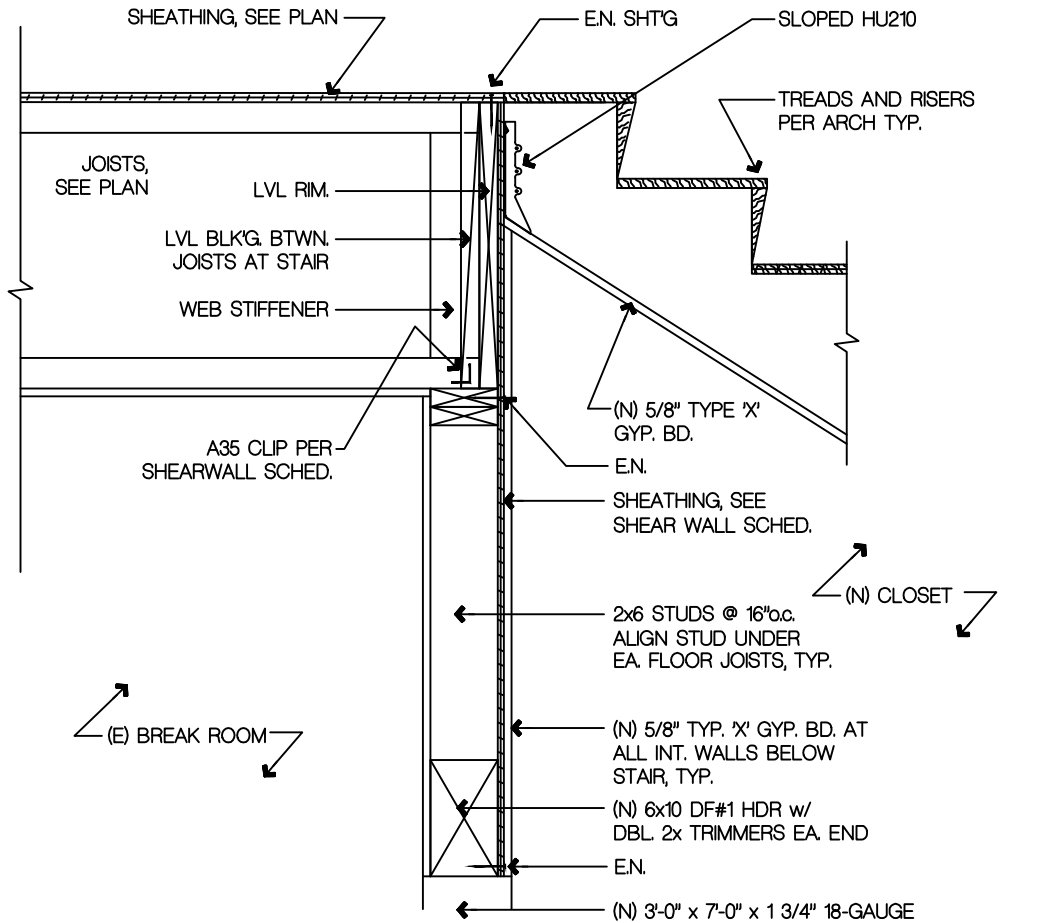
4 MEZZ. EXT. SECTION 1"=1' SD2 DETAIL



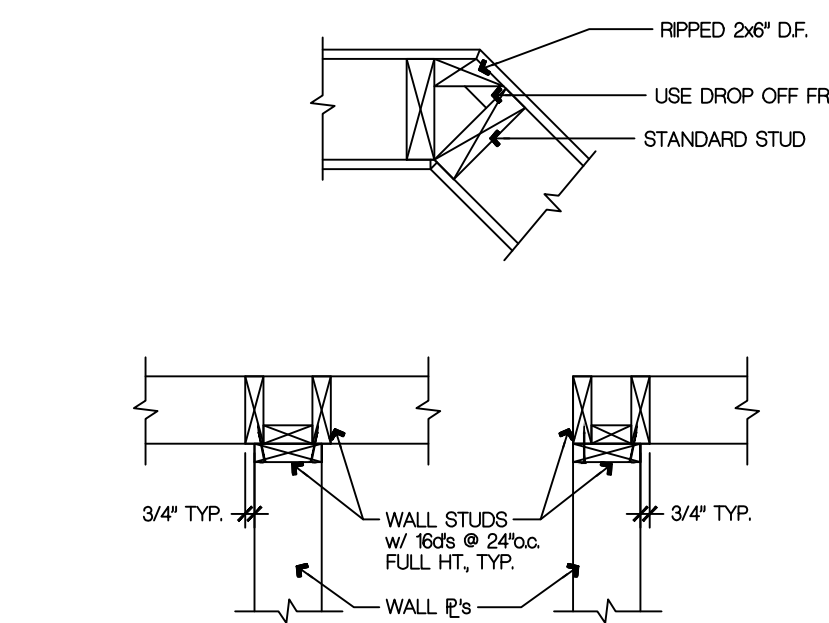
6 TYP. TOP PLATE SPLICE DETAIL 1"=1' SD2 DETAIL



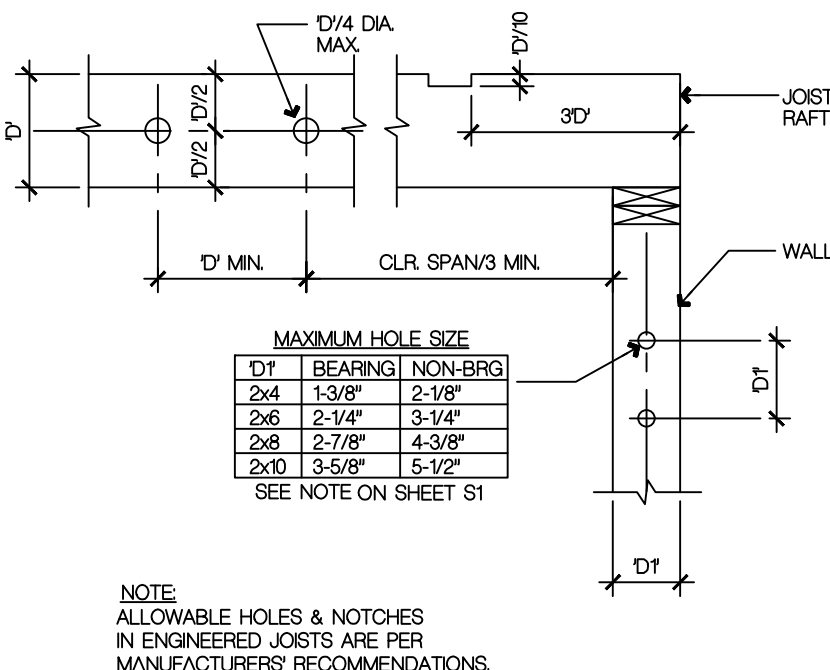
7 PIPE THRU PLATE REQMTS. 1"=1' SD2 DETAIL



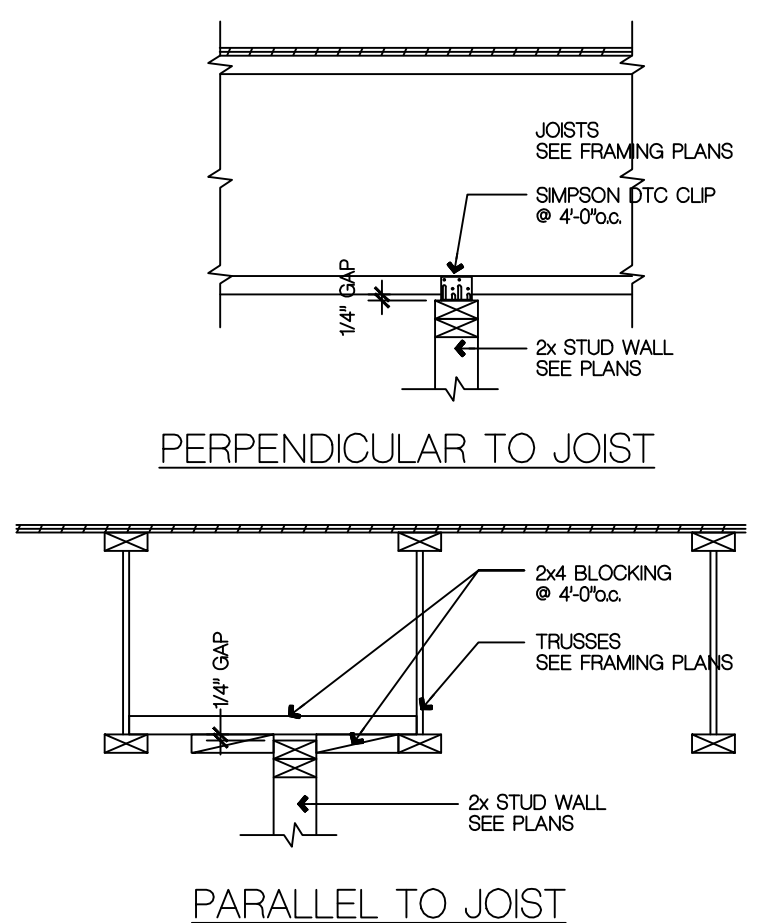
9 STAIR HEAD DETAIL 1"=1' SD2 DETAIL



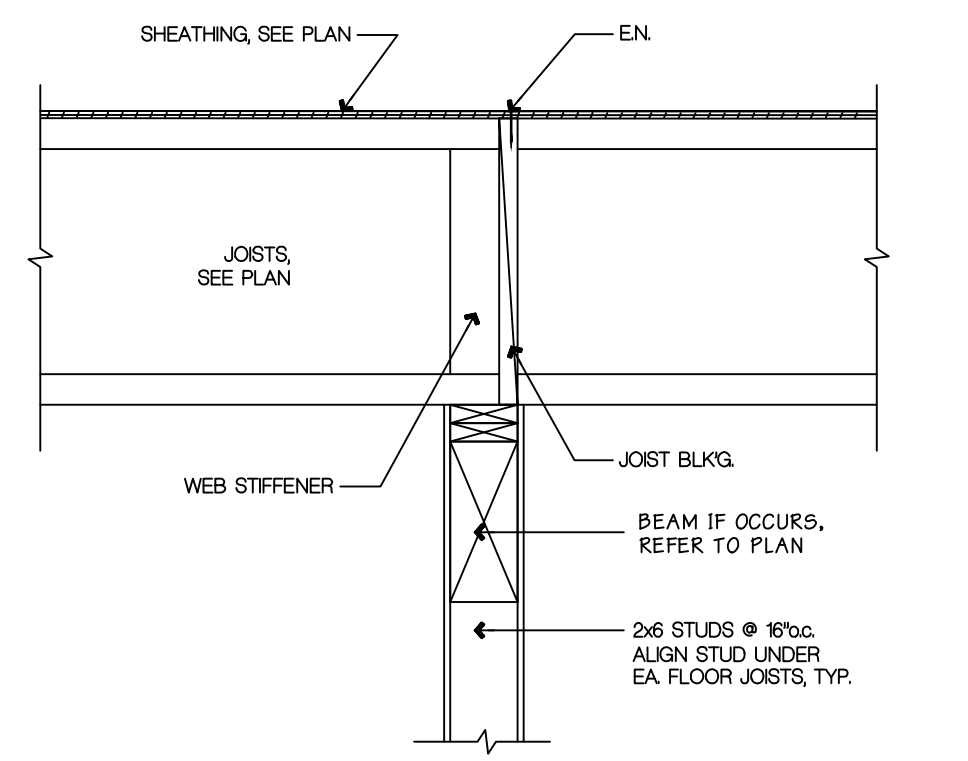
10 TYP. WALL INTERSECTIONS 1"=1' SD2 DETAIL



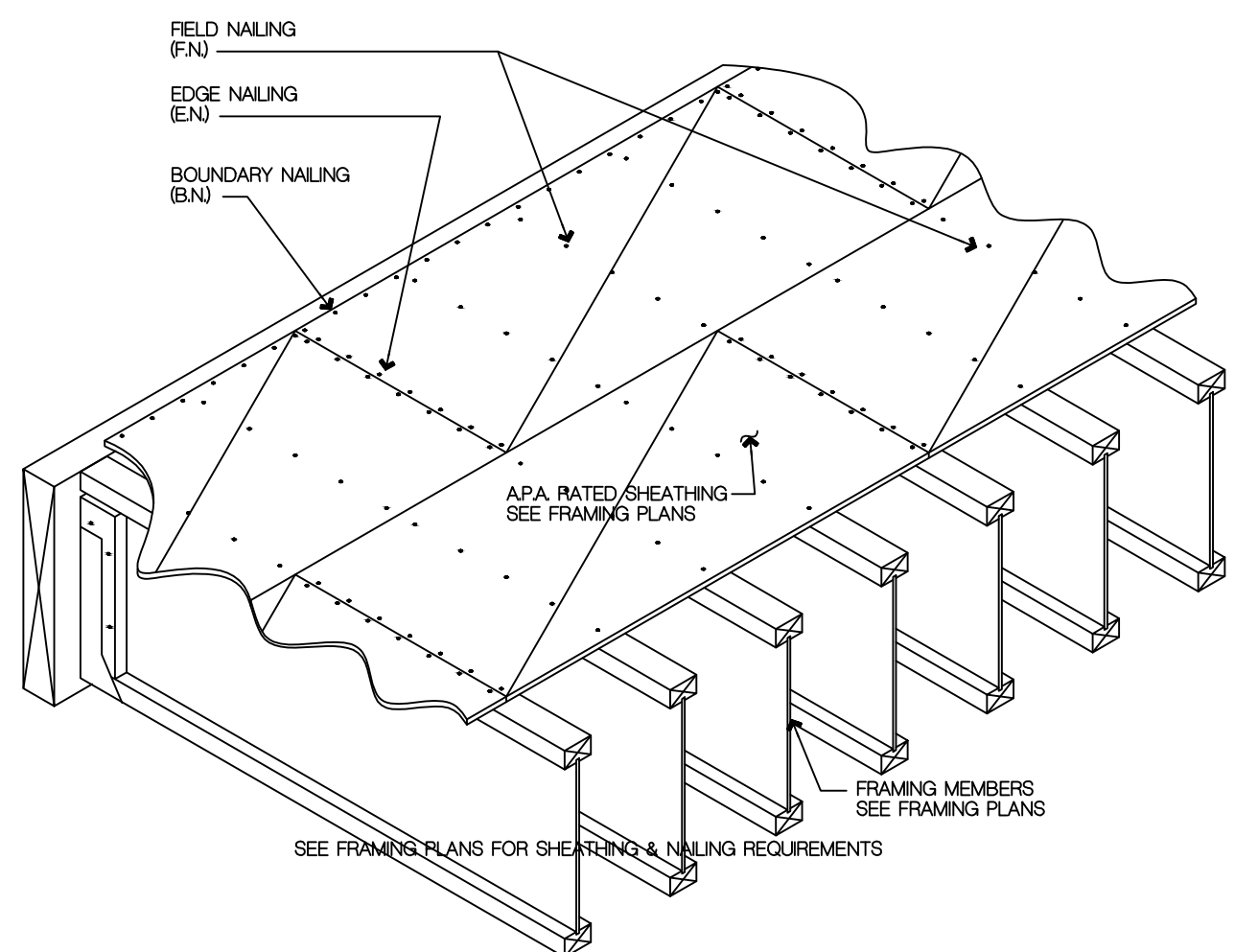
11 FRAMING HOLES & NOTCHES 1"=1' SD2 DETAIL



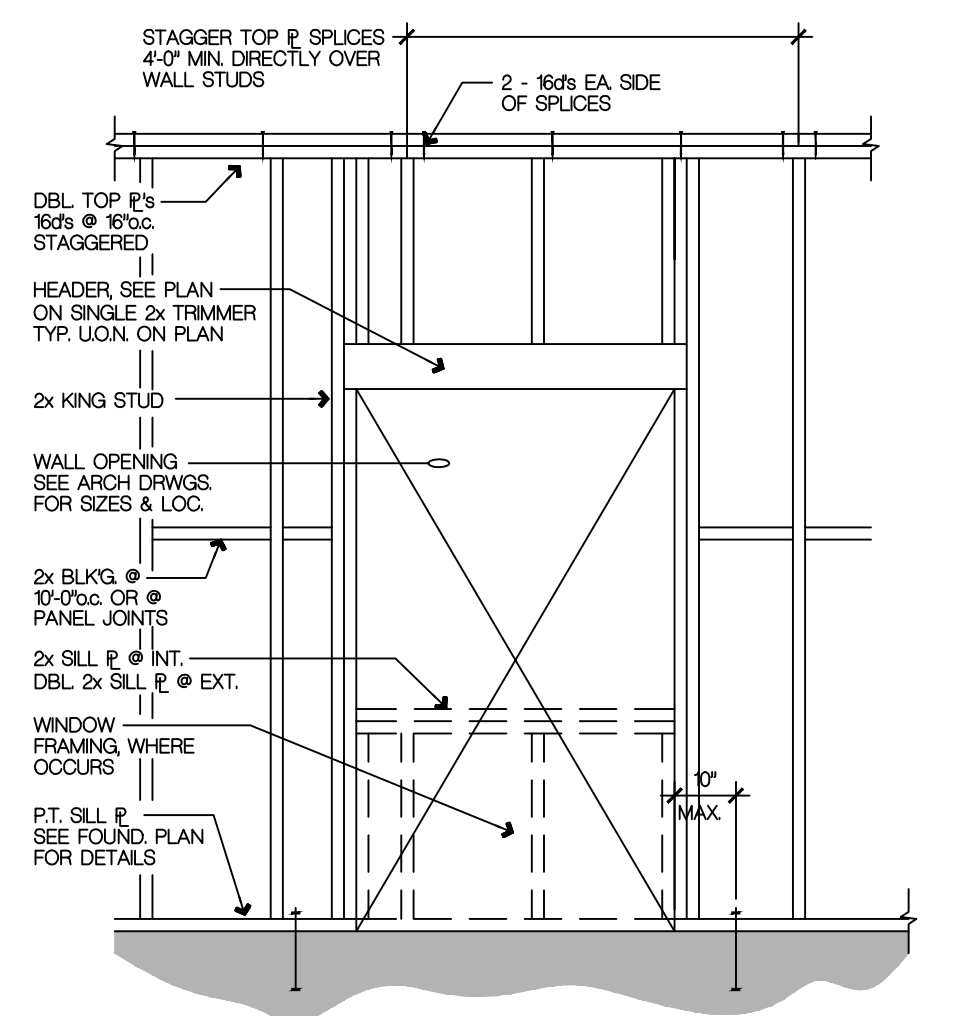
12 NON BEARING WALL 3"=1' SD2 DETAIL



13 INT. BEARING WALL SECTION 3"=1' SD2 DETAIL



14 TYPICAL DIAPHRAM NAILING 3"=1' SD2 DETAIL



15 TYPICAL WALL FRAMING ELEV 3"=1' SD2 DETAIL

REVISION	DATE	DESCRIPTION



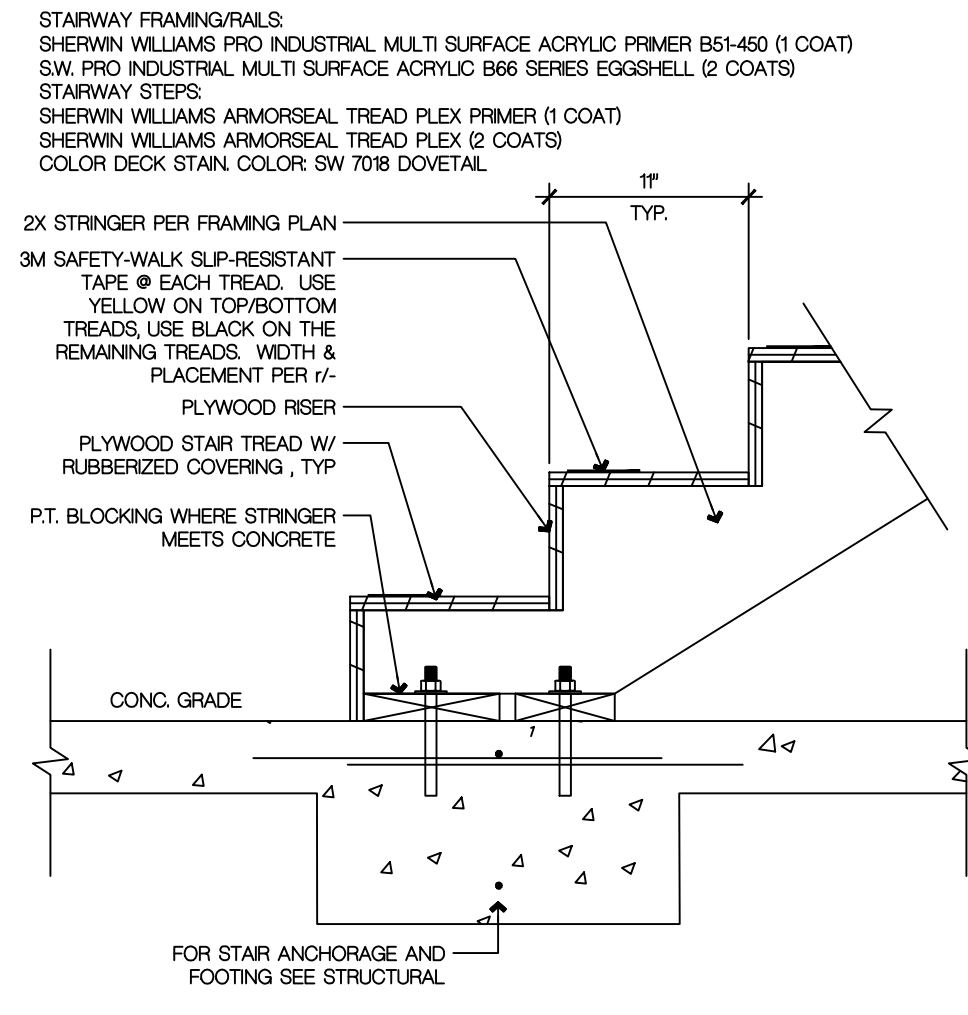
DATE: OCT 22, 2019

DESIGNED BY: EDA
 DRAWN BY: EDA
 CHECKED BY: EDA

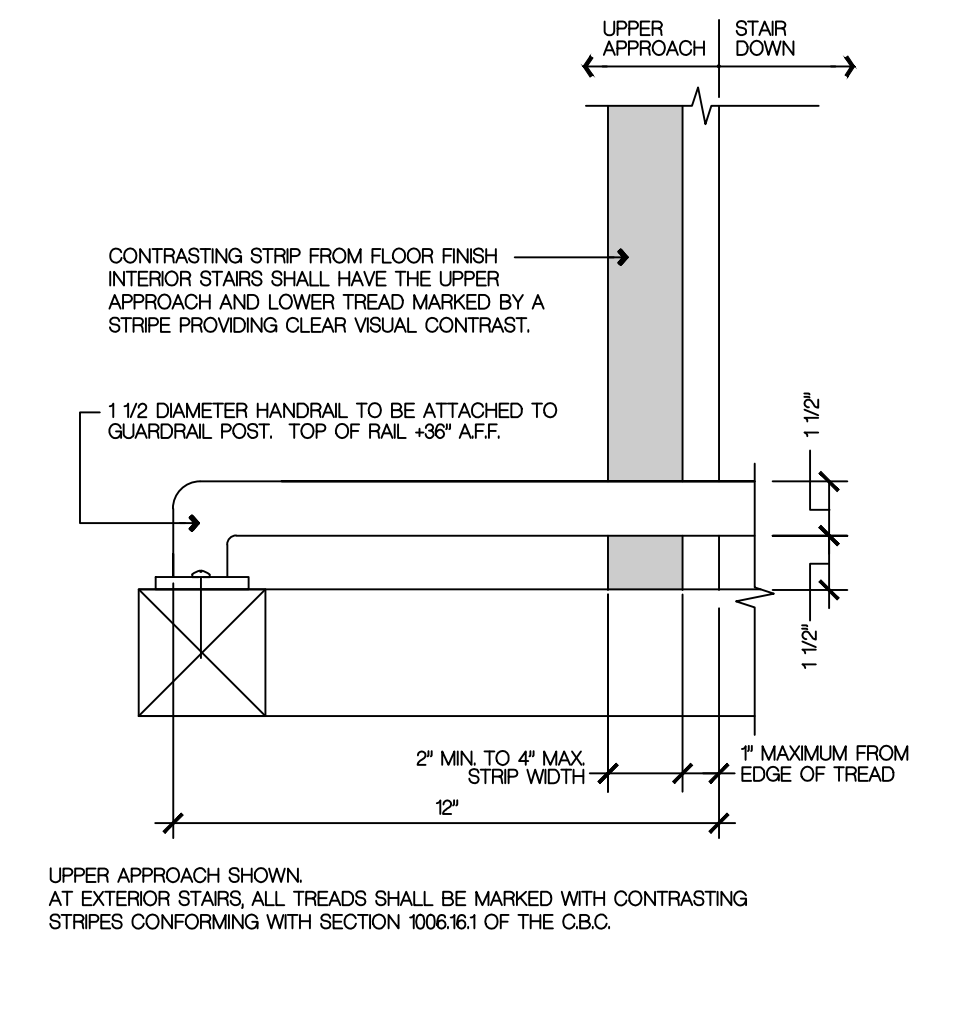
SCALE: AS NOTED

PAGE 12 OF 12

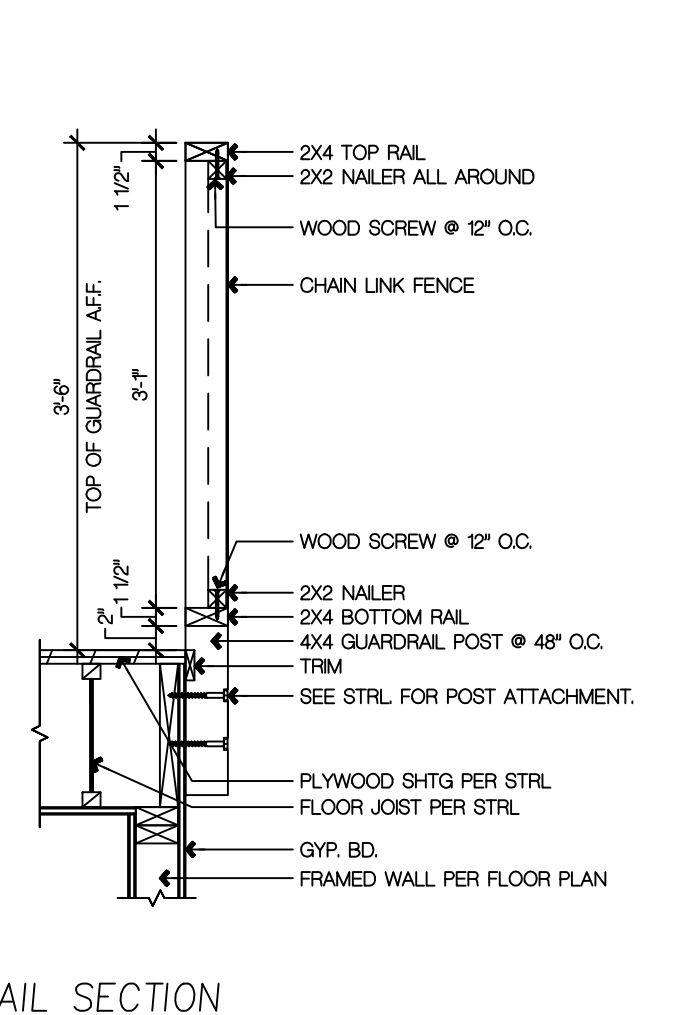
SHEET NO. SD2



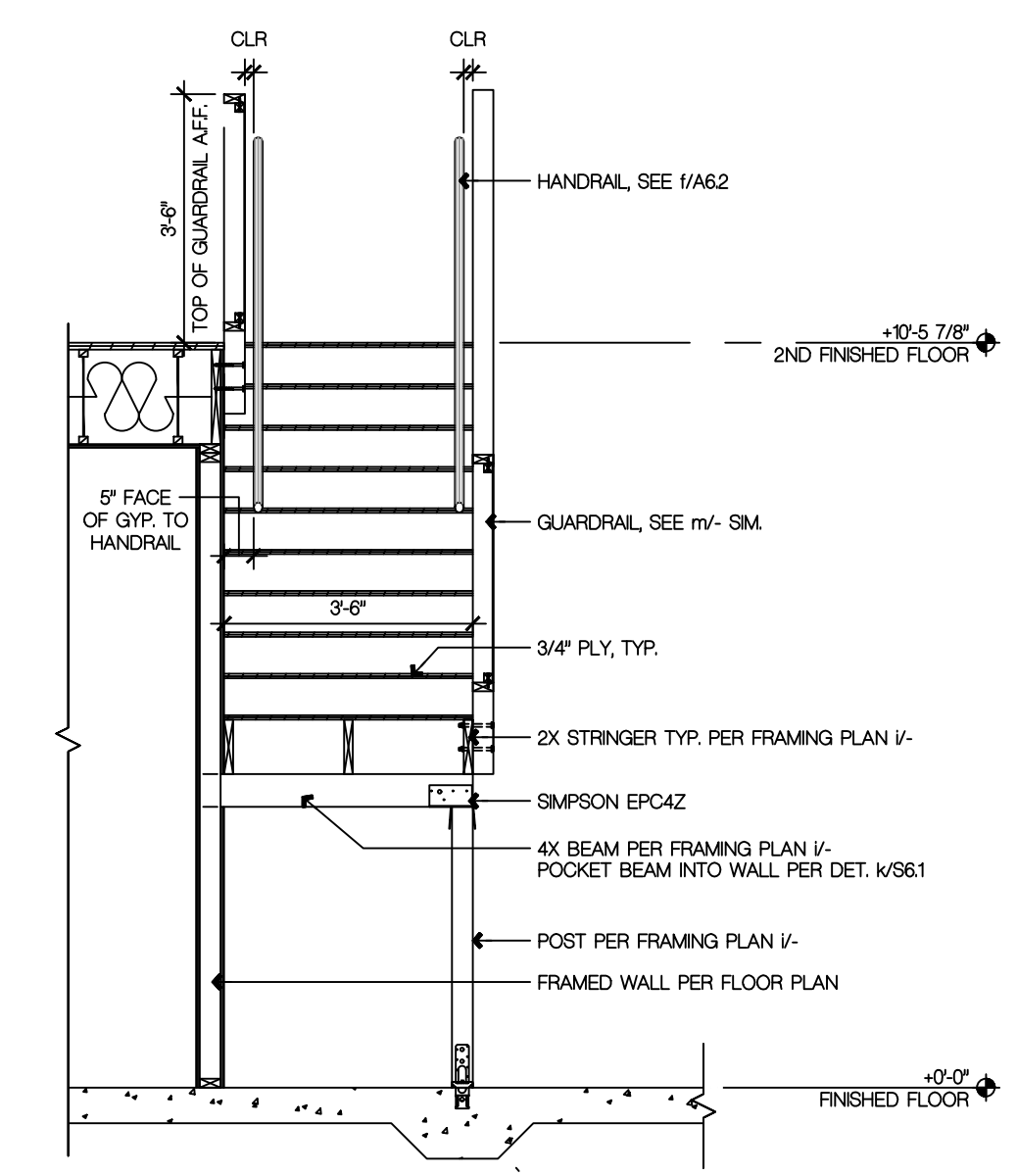
1 STAIR TREAD & BASE
SD3 DETAIL 3/4"=1"



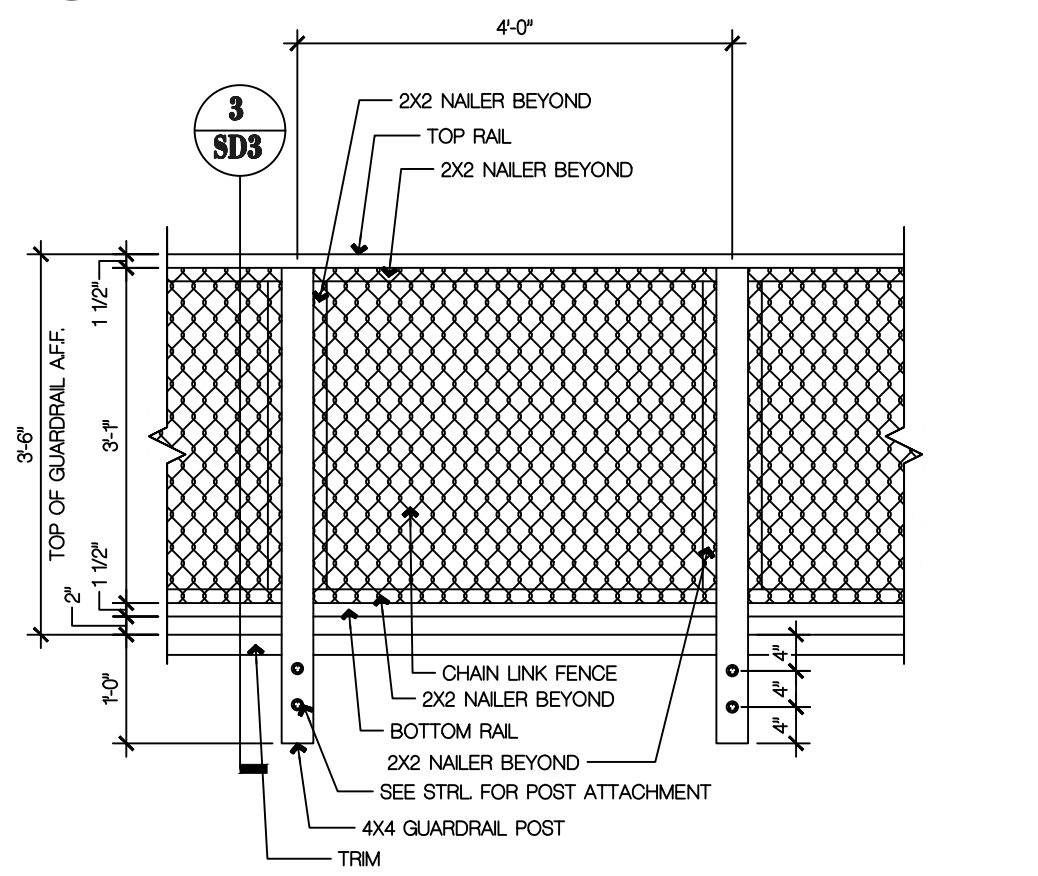
2 STAIR STRIPING - UPPER
SD3 DETAIL 3/4"=1"



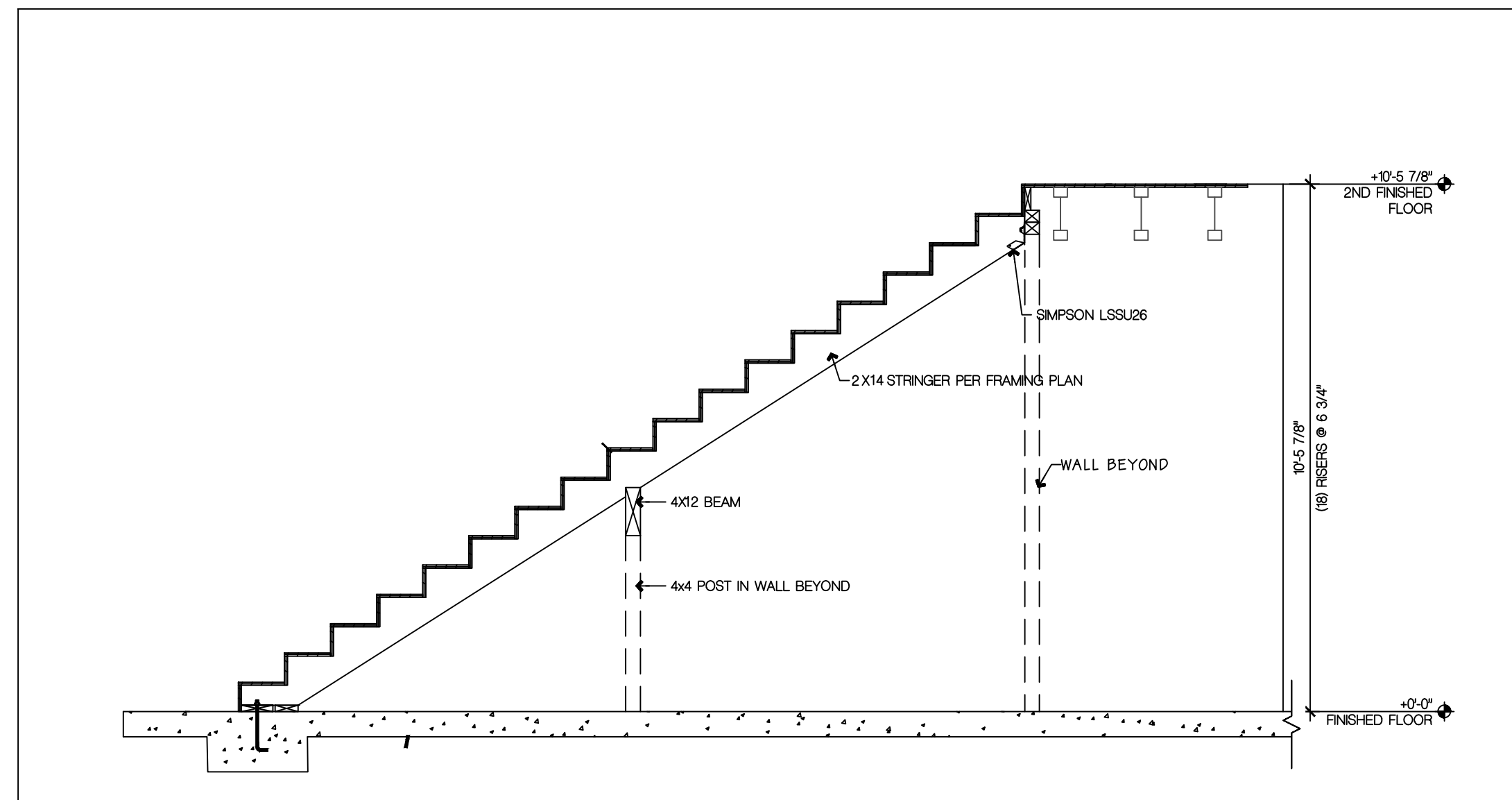
3 GUARDRAIL SECTION
SD3 DETAIL 1"=1"



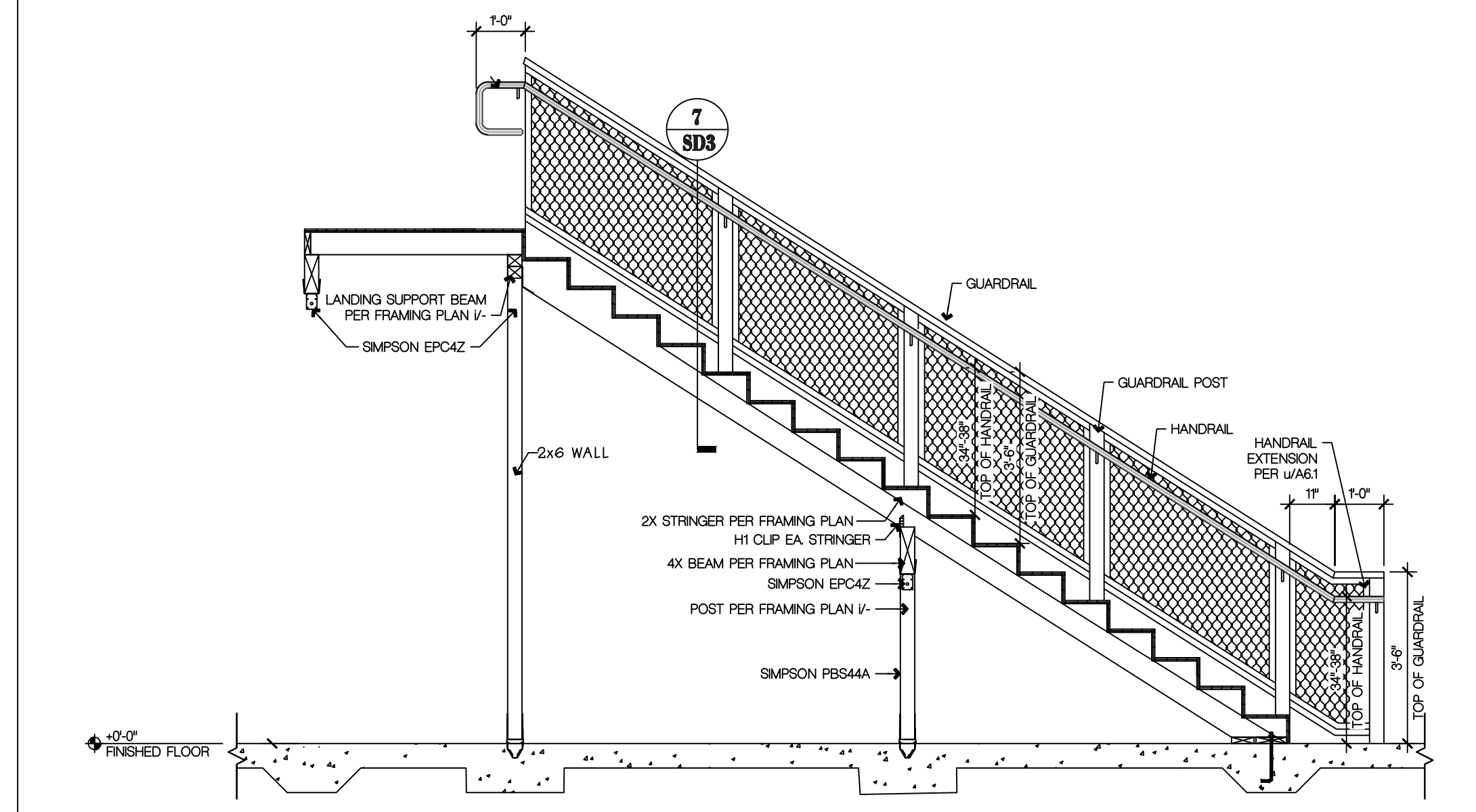
7 SECTION AT STAIR MIDPOINT
SD3 DETAIL 1/2"=1"



5 GUARDRAIL ELEVATION
SD3 DETAIL 3/4"=1"



4 STAIR SECTION AT HANDRAIL
SD3 DETAIL 1/2"=1"



8 STAIR SECTION AT HANDRAIL/GUARDRAIL
SD3 DETAIL 1/2"=1"



MAINTENANCE BUILDING
FRAMING DETAILS

REGIONAL HOUSING AUTHORITY
384 MILES AVE
YUBA CITY 95993

REVISION	DATE	DESCRIPTION



DATE:
OCT 22, 2019

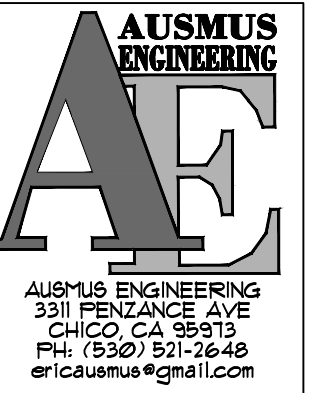
DESIGNED BY: EDA
DRAWN BY: EDA
CHECKED BY: EDA

SCALE:
AS NOTED

PROJECT:

PAGE 13 OF

SHEET NO.
SD3



MAINTENANCE BUILDING ENERGY CALCULATIONS

REGIONAL HOUSING AUTHORITY 384 MILES AVE YUBA CITY 95993

REVISION DATE DESCRIPTION



DATE: OCT 22, 2019

DESIGNED BY: EDA DRAIN BY: EDA CHECKED BY: EDA

SCALE: AS NOTED PROJECT: *

PAGE 19 OF

SHEET NO. EN2

Project Name: Nonresidential Building, NRCC-PRF-01-E, Page 10 of 19, Calculation Date/Time: 10/03, Fri, Oct 25, 2019

Mechanical ventilation calculations and exhaust fans are included in the NRCC-PRF-MCH-DETAILS section

O. EQUIPMENT CONTROLS § 120.2 Confirmed. Table with columns: Equip Name, Equip Type, Controls, Pass, Fail.

P. SYSTEM DISTRIBUTION SUMMARY § 120.4/ § 140.4(I) Confirmed

Table with columns: Equip Name, Equip Type, Duct Leakage, Duct Leakage will be verified per NAI and NAZ, Insulation R-Value, Location, Status, Pass, Fail.

Does the Project Include Zonal Systems? (If "Yes", see NRCC-PRF-MCH-DETAILS for system information) No
Does the Project Include a Solar Hot Water System? (If "Yes", see NRCC-PRF-MCH-DETAILS for system information) No
Multifamily or Hotel/ Motel Occupancy? (If "Yes", see NRCC-PRF-MCH-DETAILS for DHW system information) No

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583 Report Generated at: 2019-10-25 10:03:34

Project Name: Nonresidential Building, NRCC-PRF-01-E, Page 13 of 19, Calculation Date/Time: 10/03, Fri, Oct 25, 2019

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT § 10-103

I certify that this Certificate of Compliance documentation is accurate and complete.
Documentation Author Name: Mario Bertacco
Signature: Mario Bertacco
Date Signed: 10/25/2019

RESPONSIBLE PERSON'S DECLARATION STATEMENT

1. I hereby affirm that I am eligible under the provisions of Division 3 of the Business and Professions Code to sign this document as the person responsible for its preparation; and that I am licensed in the State of California as a civil engineer, mechanical engineer, electrical engineer, or I am a licensed architect.
2. I affirm that I am eligible under the provisions of Division 3 of the Business and Professions Code by section 5537.2 or 6737.3 to sign this document as the person responsible for its preparation; and that I am a licensed contractor performing this work.
3. I affirm that I am eligible under Division 3 of the Business and Professions Code to sign this document because it pertains to a structure or type of work described as exempt pursuant to Business and Professions Code Sections 5537, 5538 and 6737.1.

Responsible Envelope Designer Name: Eric D Ausmus
Signature: Eric D Ausmus
Address: 3311 Penance Avenue, Chico CA 95973
Responsible Lighting Designer Name: Eric D Ausmus
Signature: Eric D Ausmus
Address: 3311 Penance Avenue, Chico CA 95973
Responsible Mechanical Designer Name: Eric D Ausmus
Signature: Eric D Ausmus
Address: 3311 Penance Avenue, Chico CA 95973

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583 Report Generated at: 2019-10-25 10:03:34

Project Name: Nonresidential Building, NRCC-PRF-01-E, Page 16 of 19, Calculation Date/Time: 10/03, Fri, Oct 25, 2019

B. ZONAL SYSTEM AND TERMINAL UNIT SUMMARY § 140.4 Confirmed. Table with columns: System ID, System Type, Qty, Rated Capacity, Economizer, Zone Name, Airflow, Fan, Pass, Fail.

C. EXHAUST FAN SUMMARY

D. DHW EQUIPMENT SUMMARY (Adapted from NRCC-PLB-01) § 110.3 Confirmed. Table with columns: DHW Name, Heater Element Type, Tank Type, Qty, Tank Vol, Rated Input, Efficiency, Tank Insulation, Standby Loss Fraction, Heat Pump Type, Tank Location or Ambient Condition, Pass, Fail.

E. MULTI-FAMILY CENTRAL DHW SYSTEM DETAILS

F. SOLAR HOT WATER HEATING SUMMARY (Adapted from NRCC-STH-01)

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583 Report Generated at: 2019-10-25 10:03:34

Project Name: Nonresidential Building, NRCC-PRF-01-E, Page 11 of 19, Calculation Date/Time: 10/03, Fri, Oct 25, 2019

Q. INDOOR CONDITIONED LIGHTING GENERAL INFO (see NRCC-PRF-LTI-DETAILS for more info) § 140.6 Confirmed

Table with columns: 1. Occupancy Type, 2. Floor Area, 3. Installed Lighting Power, 4. Lighting Control Credits, 5. Additional (Custom) Allowance, Pass, Fail.

See Table 140.6-C
See NRCC-LTI-01.4 for unconditioned spaces
Lighting information for existing spaces modeled is not included in the table

R. INDOOR CONDITIONED LIGHTING SCHEDULE (Adapted from NRCC-LTI-01-E) § 130.0 Confirmed. Table with columns: Name or Item Tag, Complete Luminaire Description, Watts per luminaire, How Wattage is Determined, Total Number Luminaires, Installed Watts, Pass, Fail.

Lighting power densities were used in the compliance model. Building Departments will need to check prescriptive forms for Luminaire Schedule details.

S.L. COVERED PROCESS SUMMARY - ENCLOSED PARKING GARAGES § 140.9

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583 Report Generated at: 2019-10-25 10:03:34

Project Name: Nonresidential Building, NRCC-PRF-01-E, Page 14 of 19, Calculation Date/Time: 10/03, Fri, Oct 25, 2019

NRCC-PRF-ENV-DETAILS -SECTION START-

A. OPAQUE SURFACE ASSEMBLY DETAILS Confirmed

Table with columns: 1. Surface Name, 2. Surface Type, 3. Description of Assembly Layers, 4. Notes, Pass, Fail.

B. OVERHANG DETAILS (Adapted from NRCC-ENV-02-E)

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583 Report Generated at: 2019-10-25 10:03:34

Project Name: Nonresidential Building, NRCC-PRF-01-E, Page 17 of 19, Calculation Date/Time: 10/03, Fri, Oct 25, 2019

G. MECHANICAL HVAC ACCEPTANCE TESTS & FORMS (Adapted from 2016-NRCC-MCH-01-E) § RA4

Declaration of Required Acceptance Certificates (NRCA) - Acceptance Certificates that may be submitted. (Retain copies and verify forms are completed and signed to post in field for Field Inspector to verify).

Table with columns: Test Description, MCH-02A through MCH-13A, Confirmed, Pass, Fail.

H. EVAPORATIVE COOLER SUMMARY

NRCC-PRF-LTI-DETAILS -SECTION START-

A. INDOOR CONDITIONED LIGHTING CONTROL CREDITS (Adapted from NRCC-LTI-02-E) § 140.6

B. INDOOR CONDITIONED LIGHTING MANDATORY LIGHTING CONTROLS (Adapted from NRCC-LTI-02-E) § 130.1

C. TAILORED METHOD CONDITIONED LIGHTING POWER ALLOWANCE SUMMARY AND CHECKLIST (Adapted from NRCC-LTI-04-E) § 140.6

Table with columns: General lighting power, General lighting power from special function areas.

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583 Report Generated at: 2019-10-25 10:03:34

Project Name: Nonresidential Building, NRCC-PRF-01-E, Page 12 of 19, Calculation Date/Time: 10/03, Fri, Oct 25, 2019

S2. COVERED PROCESS SUMMARY - COMMERCIAL KITCHENS § 140.9

S3. COVERED PROCESS SUMMARY - COMPUTER ROOMS § 140.9

S4. COVERED PROCESS SUMMARY - LABORATORY EXHAUSTS § 140.9

T. UNMET LOAD HOURS. Table with columns: Thermal Zone Name, Cooling Unmet Load Hour Limit for Thermal Zone, Proposed Cooling Unmet Load Hours, Heating Unmet Load Hour Limit for Thermal Zone, Proposed Heating Unmet Load Hours.

U. ENERGY USE SUMMARY

Table with columns: Energy Component, Standard Design Site (MWh), Proposed Design Site (MWh), Margin (MWh), Standard Design Site (MBtu), Proposed Design Site (MBtu), Margin (MBtu).

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583 Report Generated at: 2019-10-25 10:03:34

Project Name: Nonresidential Building, NRCC-PRF-01-E, Page 15 of 19, Calculation Date/Time: 10/03, Fri, Oct 25, 2019

C. OPAQUE DOOR SUMMARY Confirmed. Table with columns: 1. Opaque Door Assembly Name / Tag or I.D., 2. Door Type, 3. Certification Method, 4. Operation, 5. Area, 6. Overall U-factor, 7. Status, Pass, Fail.

NRCC-PRF-MCH-DETAILS -SECTION START-

A. MECHANICAL VENTILATION AND REHEAT (Adapted from 2016-NRCC-MCH-03-E) Confirmed

Table with columns: 1. CONDITIONED ZONE NAME, 2. DESIGN AIR FLOWS, 3. VENTILATION (§ 120.1). Includes sub-columns for Design Air Flow (CFM), Transfer Air Flow (CFM), etc.

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583 Report Generated at: 2019-10-25 10:03:34

Project Name: Nonresidential Building, NRCC-PRF-01-E, Page 18 of 19, Calculation Date/Time: 10/03, Fri, Oct 25, 2019

C. TAILORED METHOD CONDITIONED LIGHTING POWER ALLOWANCE SUMMARY AND CHECKLIST (Adapted from NRCC-LTI-04-E) § 140.6

Table with columns: Additional "use it or lose it" (See Table G), Total watts.

D. GENERAL LIGHTING POWER (Adapted from NRCC-LTI-04-E) § 140.6-D

E. GENERAL LIGHTING FROM SPECIAL FUNCTION AREAS (Adapted from NRCC-LTI-04-E) § 140.6(c) 3H Confirmed. Table with columns: Room Number, Primary Function Area, Illuminance Value (foot-candles), Room Cavity Ratio (Table G), Allowed LPD, Floor Area (ft²), Allowed Watts, Pass, Fail.

F. ROOM CAVITY RATIO (Adapted from NRCC-LTI-04-E)

Table with columns: Room Number, Task/Activity Description, Room Length (ft), Room Width (ft), Room Cavity Height (ft), RCR, Confirmed, Pass, Fail.

G. ADDITIONAL "USE IT OR LOSE IT" (Adapted from NRCC-LTI-04-E)

Table with columns: 1. Wall Display, 2. Combined Floor Display and Task Lighting, 3. Combined Ornamental and Special Effects Lighting, 4. Very Valuable Merchandise, Allowed Watts, Pass, Fail.

5. Wall Display

CA Building Energy Efficiency Standards- 2016 Nonresidential Compliance Report Version: NRCC-PRF-01-E-06262019-5583 Report Generated at: 2019-10-25 10:03:34

Project Name:	Nonresidential Building	NRCC-PRF-01-E	Page 19 of 19
Project Address:	384 Miles Avenue Yuba City 95993	Calculation Date/Time:	10:03, Fri, Oct 25, 2019
Compliance Scope:	NewComplete	Input File Name:	Regional Housing Authority.cibd16x

6. Floor Display and Task Lighting
This Section Does Not Apply

7. Combined Ornamental and Special Effects Lighting
This Section Does Not Apply

8. Very Valuable Merchandise
This Section Does Not Apply

H. INDOOR & OUTDOOR LIGHTING ACCEPTANCE TESTS & FORMS (Adapted from NRCC-LTI-01-E and NRCC-LTO-01-E) § 130.4

Declaration of Required Acceptance Certificates (NRCA) – Acceptance Certificates that must be verified in the field. (Retain copies and verify forms are completed and signed to post in field for Field Inspector to verify).

Test Description	# of units	Indoor			Outdoor	Confirmed	
		NRCA-LTI-02-A Occ Sensors / Auto Time Switch	NRCA-LTI-03-A Auto Daylight	NRCA-LTI-04-A Demand Responsive	NRCA-LTO-02-A Outdoor Controls	Pass	Fail
Equipment Requiring Testing or Verification							
Occupant Sensors	2	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Automatic Time Switch	0	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Automatic Daylighting	0	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Demand Responsive	0	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Outdoor Controls	2	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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Outdoor Lighting

NRCC-LTO-E (Created 9/17)

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

Project Name: Regional Housing Authority
Project Address: 384 Miles Avenue

Report Page: Page 6 of 6
Date Prepared: 10/25/2019

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

Documentation Author Name: Mario Bertacco
Company: NRG Compliance, LP
Address: P.O. Box 3777
City/State/Zip: Santa Rosa, CA 95402

Documentation Author Signature: *Mario Bertacco*
Signature Date: 10/25/2019
CEA/ HERS Certification Identification (if applicable):
Phone: 707-237-6957

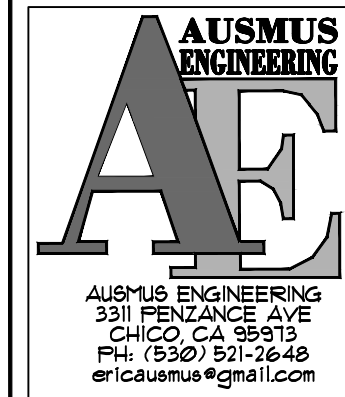
RESPONSIBLE PERSON'S DECLARATION STATEMENT

I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer)
- The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Eric D Ausmus
Company: Ausmus Engineering Inc
Address: 3311 Penzance Avenue
City/State/Zip: Chico, CA 95973

Responsible Designer Signature: *Eric D Ausmus*
Date Signed: 10/25/19
License: CA CIVIL 65286
Phone: 530-521-2648



MAINTENANCE BUILDING
 ENERGY CALCULATIONS

REGIONAL HOUSING AUTHORITY
384 MILES AVE
YUBA CITY 95993

REVISION	DATE	DESCRIPTION



DATE:
OCT 22, 2019

DESIGNED BY: EDA
DRAWN BY: EDA
CHECKED BY: EDA

SCALE:
AS NOTED

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SHEET NO. **EN3**